



Complete Agenda

Democratic Service
Swyddfa'r Cyngor
CAERNARFON
Gwynedd
LL55 1SH

Meeting

PLANNING COMMITTEE

Date and Time

1.00 pm, MONDAY, 22ND APRIL, 2024

NOTE

This meeting will be webcast

https://gwynedd.public-i.tv/core//en_GB/portal/home

Location

**Hybrid - Siambr Dafydd Orwig, Council Offices, Caernarfon LL55 1SH
and Virtually via Zoom**

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(DISTRIBUTED 12/04/24)

PLANNING COMMITTEE

MEMBERSHIP (15)

Plaid Cymru (10)

Councillors

Elwyn Edwards
Elin Hywel
Huw Wyn Jones
Edgar Wyn Owen
Huw Rowlands

Delyth Lloyd Griffiths
Gareth Tudor Jones
Olaf Cai Larsen
Gareth A Roberts
John Pughe

Independent (4)

Councillors

Louise Hughes
John Pughe Roberts

Anne Lloyd-Jones
Gruffydd Williams

Lib/Lab (1)

Councillor Gareth Coj Parry

PROCEDURE FOR SPEAKING ON PLANNING APPLICATIONS IN THE PLANNING COMMITTEE

The Council has decided that third parties have the right to speak on planning applications at the Planning Committee. This leaflet outlines the normal operational arrangements for speaking at the committee.

1.	Report of the Planning Service on the planning application including a recommendation.	
2.	If an application has been received from a 3 rd party to speak the Chairman will invite the speaker to come forwards.	
3.	Objector or a representative of the objectors to address the committee.	3 minutes
4.	Applicant or a representative of the applicant(s) to address the committee.	3 minutes
5.	Local Member(s) to address the committee	10 minutes
6.	Committee Chairman to ask for a proposer and seconder for the planning application.	
7.	The committee to discuss the planning application	

AGENDA

1. APOLOGIES

To accept any apologies for absence.

2. DECLARATION OF PERSONAL INTEREST AND PROTOCOL MATTERS

To receive any declaration of personal interest and to note protocol matters.

3. URGENT ITEMS

To note any items that are a matter of urgency in the view of the Chairman for consideration.

4. MINUTES

6 - 16

The Chairman shall propose that the minutes of the previous meeting of this committee, held on the 18th of March 2024, be signed as a true record.

5. PLANNING APPLICATIONS

To submit the report of the Head of Environment Department.

5.1 APPLICATION NO C22/0898/42/LL LAND ADJACENT TO EXISTING FUNERAL DIRECTOR WORKSHOP & PUBLIC TOILETS, MORFA NEFYN, LL53 6BW 17 - 31

Erection of Chapel of Rest

Local Member: Councillor Gareth Tudor Morris Jones

[Link to relevant background documents](#)

5.2 APPLICATION NO C24/0071/16/LL CNC FUELS PARC BRYN CEGIN, LLANDYGAI, BANGOR, GWYNEDD, LL57 4BG 32 - 46

Erection of 10 industrial units, new access, parking and landscaping

Local Member: Councillor Dafydd Meurig

[Link to relevant background documents](#)

5.3 APPLICATION NO C23/0936/14/LL CAERNARFON ABBATOIR YSTÂD DDIWYDIANNOL CIBYN, CAERNARFON, GWYNEDD, LL55 2BD 47 - 75

Full Application for the erection of a new workshop/office building, a workshop/welding building, and a vehicle wash unit together with a private fuel storage tank and other ancillary spaces

Local Member: Councillor Dewi Jones

[Link to relevant background documents](#)

**5.4 APPLICATION NO C24/0011/30/AM BODERNABWY, 76 - 96
ABERDARON, PWLLHELI, GWYNEDD, LL53 8BH**

Outline application with some matters reserved (appearance, landscaping) for the provision of 5 self-build plots for affordable dwellings.

Local Member: Councillor Gareth Williams

[Link to relevant background documents](#)

PLANNING COMMITTEE 18 March 2024

Present: Councillor Edgar Owen (Chair)
Councillor Elwyn Edwards (Vice-chair)

Councillors: Delyth Lloyd Griffiths, Louise Hughes, Elin Hywel, Gareth T Jones, Huw Wyn Jones, Cai Larsen, Anne Lloyd Jones, John Pughe Roberts, Huw Rowlands and Gruffydd Williams

Others invited - Local Members: Councillor Anwen Davies

Officers: Gareth Jones (Assistant Head of Planning and the Environment), Miriam Williams (Legal Services), Keira Sweeney (Planning Manager - Development Control and Enforcement), Gwawr Hughes (Development Control Team Leader) and Lowri Haf Evans (Democracy Services Officer).

Swyn Hughes (Professional Trainee in Environment Planning) - observing

1. APOLOGIES

Apologies were received from Councillor Gareth A Roberts

2. DECLARATION OF PERSONAL INTEREST AND PROTOCOL MATTERS

a) The following member declared that he had an interest in relation to the item noted:

Councillor Cai Larsen (a member of this Planning Committee), in item 5.2 (C23/0772/20/LL) on the agenda as he was a Member of the ADRA Board

The Member was of the opinion that it was a prejudicial interest, and he withdrew from the meeting during the discussion on the application and he did not vote on the application.

b) The following member declared that she was a local member in relation to the item noted:

- Councillor Anwen Davies (not a member of this Planning Committee), in item 5.3 (C23/0793/40/DT) on the agenda

3. URGENT ITEMS

None to note

4. MINUTES

The Chair signed the minutes of the previous meeting of this committee, held on 26 February 2024, as a true record.

5. PLANNING APPLICATIONS

The Committee considered the following applications for development. Details of the applications were expanded upon and questions were answered in relation to the plans and policy aspects.

5.1 Application Number C23/0995/15/LL

Glyn Rhonwy Store, Siemens Healthcare Diagnostics Product Ltd, Glyn Rhonwy Estate, Llanberis.

Erect a building to provide an office space and canteen (Class B1) including refuse storage area, service access, landscaping and associated works.

Attention was drawn to the late observations form by Natural Resources Wales (NRW) that responded to the Construction Environmental Management Plan and Pollution Prevention Plan submitted.

- The Development Control Team Leader highlighted that it was an application to erect a new building to provide office space and a canteen (B1 Use Class) to serve a Siemens business site in Llanberis together with associated developments; the development would include erecting a three-storey building on sloping green land north of the company's existing buildings. It was reiterated that the need for a new facility had arisen as a result of renovation work in one of the other buildings on the site regarding the need for more manufacturing space. The renovation would mean a loss of serviced space such as offices and a canteen that have now been put in temporary buildings. It was noted that the proposal would not lead to an increase in the density of the use of the site but is rather an effort to provide appropriate ancillary facilities to serve the existing business.

It was reported, in accordance with the requirements of the Town and Country Planning (Development Management Procedure) (Wales) Order 2012 (as amended), that the development was defined as a "major development" due to the floor area proposed to be provided. In line with the appropriate procedure, a Pre-application Consultation Report was received as a part of the application. The report indicates that the developer has informed the public and statutory consultees of the proposal prior to submitting a formal planning application.

In the context of the principle of the development, it was noted that the application site was located outside the development boundary of the Local Service Centre of Llanberis as defined in the LDP, however it was part of a major site that is already in use by industry. Reference was made to Policy PCYFF 1 of the LDP which encouraged refusal of developments outside the development boundaries, unless they are in accordance with local or other national planning policies, or that the offer showed that a location in the countryside was essential. In this case, when considering that the proposal was to extend an existing business already on the site, it was totally expected that the facility was provided on the site and therefore there was appropriate justification for allowing such a development at this location.

In the context of Infrastructure and Sustainability matters, it was highlighted that Welsh Water had confirmed that there would be adequate capacity in the local sewerage system to meet the requirements of the developments by the end of March 2025 and that a connection to the water supply could be ensured. It was also noted that sustainable draining systems (SuDS) are required to control surface water for every new development of more than 100m² in floor area and an application will need to be submitted to the SuDS Approval Body for approval before the construction work commences. Considering biodiversity matters, it was noted that a Trees Survey and an Arboriculture Impact Assessment, as well as an Ecological Impact Assessment had been submitted with the application and the content of the assessments were acceptable by

the Biodiversity Unit. It was considered that the mitigation measures and enhancements proposed gave an opportunity to develop the site in a way that was sensitive to biodiversity needs and by imposing appropriate conditions, the development would be acceptable under policies AMG 5 and PS 19 of the LDP.

It was highlighted that the Transportation Unit had no objection to the application as there would be no change in the density of use of the site that would call for change in the parking arrangements. A Welsh Language Statement was submitted to support the application, in accordance with the requirements of the Supplementary Planning Guidance - Creating Distinctive and Sustainable Communities (SPG), as well as policy PS1 of the LDP, due to the size of the development's floor area. The statement noted, because there would be no expectation for the proposal to lead to additional people in the area and there was no expectation that the proposal would lead to outward migration from the area, there was no expectation for any changes to population mobility as a result of the development; Therefore a neutral impact would be expected on population mobility. The Language Unit had no further observations on the proposal.

It was considered that the use, design and proposed materials were acceptable and that they would not disrupt the amenities, character or appearance of the site, nor the surrounding area.

- Taking advantage of the right to speak, the applicant made the following observations:
 - The company produced technology to help with diagnosing medical conditions at its site in Llanberis.
 - That over 400 people worked for the company
 - The application was one to provide space for a new facility as a result of renovation work in one of the other buildings as part of the company's extension to provide 100 higher skills jobs
 - The new building would be sustainable and of flexible use - carefully designed so that it would be possible to change the layout
 - It would include a workers' hub, a practical work location as well as a new reception
 - The company had worked closely with the officers before submitting the application
 - The design was in keeping with its surrounding environment - no visual impact
 - Should the application be approved, the work would start in April 2024 with the intention of opening early in 2025
- It was proposed and seconded to approve the application.

RESOLVED: To approve the application subject to complete discussions regarding highways and archaeology matters as well as relevant planning conditions relating to:

1. Time
2. Compliance with the plans
3. The development shall be implemented in accordance with the ecological/tree reports
4. The operational methods must be followed as highlighted in the CEMP / pollution prevention plan.
5. You must act in accordance with the recommendations of the Flood Risk Assessment

6. Permitted use of building for any purposes within Use Class B1 only
7. Welsh Water conditions
8. Ensure Welsh / Bilingual signs
9. NRW Conditions
10. If, during the development, it is found that there is contamination that was not previously noted present on the site, then no further development (unless this is agreed in writing with the Local Planning Authority) will be undertaken until the remedial strategy details how this unspecified contamination will be presented to the Local Planning Authority and approved in writing by the Local Planning Authority.

Notes:

1. Welsh Water
2. Land Drainage Unit
3. NRW

5.2 Application Number C23/0772/20/LL Land near Y Wern, Y Felinheli, LL56 4TZ

Residential development and associated infrastructure works

Attention was drawn to the late observations form regarding educational contribution, further observations from the Community Council noting concerns regarding flooding, drainage and parking, biodiversity matters as well as the applicant's agent's response to those observations / concerns.

- a) The Planning Manager highlighted that this was a full application for a residential development with associated infrastructure work on a plot of land outside, but immediately adjacent to, the development boundary of the Coastal / Rural Village of Felinheli as defined by the LDP. Proposal includes:
- 23 affordable dwellings
 - Landscaping work including planting new trees and hedges
 - 0.14ha of public open land as well as a specific play area
 - New vehicular access to the south of Y Wern estate through an existing informal parking place (the existing parking areas will be relocated)
 - Creation of a new estate road to meet the servicing vehicular access requirements
 - Drainage measures that will involve creating two surface water attenuation pools and diverting the existing public sewer.

It was explained that the application site was partly on brownfield land near the existing housing estate, partly on an overgrown wooded site and the rest on agricultural land. It stood partly within the Gwersyll Dinas Listed Monument (CN 047) buffer zone and a small part of the site within Flood Zone B as defined by the maps that accompany Technical Advice Note 15 "Development and Flood Risk".

In the context of the principle of the development, reference was made to Policy TA16 which enabled housing developments on sites that were outside, but abut the development boundary but it had to be ensured that the proposal complied effectively with Policy requirements. As an exception to the usual housing policies, proposals for

developments of 100% affordable housing may be suitable on a site of this type which directly abuts the development boundary. The policy noted that the site must form a logical extension to the settlement; it was noted here that the application site filled space within the development pattern of the village with the existing development surrounding three sides. It was reiterated that Policy TAI16 also showed that the acknowledged need could not be addressed within a reasonable timetable on a market site within the development boundary which included a requirement for affordable housing. It was reported that no housing sites had been earmarked within the development boundary of Felinheli and when considering the physical restrictions of the land within the development boundary of the village in terms of matters such as gradient and flood risk, it was not believed that it was likely that a suitable site for a development of this size to be available within the village in a reasonable time.

It was also noted that proposals on such a site must be for a small-scale development, which was proportionate to the size of the settlement, unless it could be clearly demonstrated that there was a demonstrable requirement for a larger site. It was noted that 1,177 residential properties ("built up area" information from the 2011 Census) are located within Y Felinheli. This proposed development would therefore mean an increase of 1.95% in the current housing stock. It was therefore reasonable to consider that the scale of this proposal was small and proportionate to the size of the settlement. It was therefore considered that the application was in accordance with the requirements of Policy TAI 16.

In the context of affordable matters, the Housing Strategic Unit confirmed that this plan would address the need identified in the area and that this plan would make a direct contribution to the aim of Cyngor Gwynedd's Housing Action Plan to provide more houses to meet the current high demand that existed locally.

In the context of Location, Design and Visual Impact, it was considered that the proposal formed a reasonable extension to the village, and that the layout and materials of the proposed development was in keeping with the location in an appropriate way - the houses had been designed to a standard quality that would be in keeping with the feel of the village.

Reference was made to the concerns received by the Community Council and others, relating to transport and access matters and the potential impact of the development on parking and road safety adjacent to the nearby school at busy times of the day. In response, the applicant noted that the level of on-the-road parking associated with the schools was obviously a matter of existing concern, but it would not be worsened by the proposed development. The plan would provide parking spaces instead of the ones in the vicinity of the access and parking spaces which complied with the Council's standards / requirements. Although a few on-street parking spaces would be lost as a result of retaining the proposed access, there would be substantial areas where on-the-road parking could be done around the school. Subject to appropriate conditions, the parking arrangements and vehicular access were acceptable by the Transportation Unit and it was not considered that the traffic caused by the new development would increase the risk for nearby road users in a significant manner.

In the context of open spaces, it was noted that the development included an open space with equipment and, when discussing educational matters, it was noted from the late observations form that the Education Department's response noted that there was

sufficient space within the schools to cope with the expected increase in pupils that would arise from the development.

In response to the observations of the Community Council regarding flood concerns, reference was made to the TAN 15 Development Advice Maps and the Flood Maps and, looking at the topography of the area of the stream, it was considered that the design of the site levels meant that the paths of the water-courses were not at risk if there was a barrier in the existing water-course and therefore, if there was flooding, the development would not worsen the situation and there would be no impact on the proposed houses. It was reiterated that there was no objection to the proposed development based on flood risks by the Water Environment Unit or NRW, nor any objection to the surface water drainage proposal by any of the other relevant statutory bodies consulted.

Reference was made to observations received by the Biodiversity Unit that were eager to ensure changes to the plan to protect existing habitats along the stream which ran along the southern side of the site. It was suggested that a 15m wide zone should be retained between the development site and the stream to protect the stream from the impacts of the development, suggesting that the estate road should be moved, that one of the drainage pools should be removed and possibly erecting fewer houses. The applicant responded to the observations noting that leaving a 15m wide zone between the site and the stream would mean that developing the site would be impractical. However, the plan was re-designed to bring the development as far as possible away from the stream, noting that the plan needed to comply with the other requirements regarding matters such as land drainage, parking, access and public open land and that there is no flexibility within the land under their control to realise all of the Biodiversity Unit's requirements.

It was noted that a Green Infrastructure Statement had now been received and despite acknowledging the concerns of the Biodiversity Unit that it would be possible to set appropriate conditions to ensure that mitigation and enhancement measures were implemented to ensure that the site was developed in a way that was sensitive to biodiversity needs and meet environmental needs.

It was considered that the proposal for developing affordable housing was designed to meet the local housing market needs and despite noting the concerns regarding the possible impact on biodiversity and flooding, it was considered that the plan was acceptable and complied with relevant local and national planning policies.

- b) Taking advantage of the right to speak, the applicant's agent noted the following points:
- That the application provided 23 affordable houses - social / intermediate rent
 - That evidence had proved that the need for houses had been identified in the area
 - The plan offered a mixture of houses, bungalows and flats in a green area and had been designed in accordance with the local need
 - The land abutted the development boundary and was a reasonable extension to the village
 - That Felinheli was identified as a sustainable location for housing growth and that there was no other suitable site in the village
 - That there was an intention to provide quality homes - which were energy efficient
 - No objections had been received by specialist consultees during the process

- In terms of flooding concerns, the finished floors of the houses would be approximately 600mm above the top bank of the water course - the development would not worsen the flood risk
- That there was an intention to install a sustainable drainage system across the site that would include water storage features - discussions have been held with the Local Flood Authority and the SuDS approval body
- That the existing roads network could cope with the new development - safe roads for pedestrians to have access to local services, education and public transport
- That the parking provision was sufficient and that the Transportation Unit had no objection
- The package in terms of economic, social and environmental benefits was compelling and unquestionable - the development contributed to the lack of affordable houses in the area

c) It was proposed and seconded to approve the application

RESOLVED: To delegate powers to the Head of Planning to approve the application, subject to a further assessment of the need for an educational contribution and to an appropriate 106 Agreement if required. The permission will be subject to the following conditions:

1. Commence within five years
2. Development to comply with the approved plans
3. Must submit and agree on a programme for providing affordable housing
4. Must agree on external materials including the roofing slates
5. Removal of permitted development rights
6. Welsh Water Condition
7. Highways Conditions
8. Biodiversity conditions
 - pre-occupancy condition to submit details of bird and bat boxes and for these to be approved
 - pre-occupancy condition to submit and approve a 5 Year Set-up and Maintenance Plan as documented in the Green Infrastructure Statement
9. Trees conditions
10. An Arboriculture Method Statement must be prepared
11. The operational methods highlighted in the CEMP must be followed
12. There must be a Welsh name for the housing estate and individual houses
13. A condition to ensure that fences are erected to protect the habitat near the stream
14. A condition to ensure that a play area with equipment is provided
15. Restrict the use to C3 use class only
16. Land drainage condition - in accordance with the details received or in line with a plan to be submitted and agreed in writing with the LPA.

Note - Welsh Water, Land Drainage Unit, Transportation Unit, Fire Service and Natural Resources Wales

5.3 Application Number C23/0793/40/DT Tŷ'n Llwyn, Llannor, Pwllheli, Gwynedd, LL53 5UG

External changes to a plan previously approved under plan number C08D/0205/40/LL including a first-floor extension, elevations and external materials

- a) The Development Control Team Leader highlighted that this was a full application to erect extensions to a two-storey house. It was explained that the Council gave permission for single-storey and part two-storey extensions under reference C08D/0205/40/LL in 2008 with part of the extensions on a single-storey level partially erected, and that this application meant a change in the plan agreed in 2008. It was reiterated that the extensions had been located on the front, side and back elevation of the house and was a modern design and substantially bigger than the existing building.

It was noted that the site was located in open countryside and outside any development boundary as defined in the LDP. The existing property was a traditional two-storey house, finished with pebbledash, with the nearest residential property approximately 120m away.

The application was submitted to the committee at the local member's request.

Reference was made to Policy PCYFF3 which stated that proposals would be approved, including extensions and changes to existing buildings and structures, if they complied with a number of criteria. The Local Planning Authority considered that the proposal, because of its size, bulk, design and finish, would create an alien feature in the open countryside and have a substantial negative impact on the area's visual amenities as it would not be in keeping with the character and appearance of existing house and houses in this area of countryside. As a result, the intention would not meet criteria 1, 2 and 3 of policy PCYFF3 in the LDP which ensured that proposals added to and improved the character and appearance of the site and the building in terms of setting, appearance, scale, height, mass and elevations treatment; that they respected the context of the site and its place in the local landscape; and used materials that were appropriate to its surroundings, nor the requirements of Technical Advice Note 12: Design that supports proposals of high-quality designs.

There were no objections in the context of highways, access and language, and the Biodiversity Unit had confirmed that the bat survey received along with plans that offered biodiversity enhancements were acceptable.

Having considered every relevant planning matter, it was not considered that the application could be supported based on its size, bulk, design and finish as it would create an alien feature in the countryside and have a substantial negative impact on the area's visual amenities. It was considered that the proposal was unacceptable and it was recommended that it should be refused.

- b) Taking advantage of the right to speak, the agent noted the following observations:
- That the application was for extensions and changing materials of an application approved in 2008 under ref:C08D/0205/40/LL
 - That the original application was to create a floor extension with an area of 242m², and a first-floor extension of 60m² to the existing house in Tŷ'n Llwyn.
 - Building work had started some years ago and had been stopped for a few years by now, but the applicant wanted to make changes to what had already been approved before restarting.
 - The Officer noted in the report that there were no problems with the application in terms of General Amenities, Highways and Biodiversity and the only concerns and rationale behind refusing the application was the size and the materials that had been chosen.
 - The intention of the application was to add a ground floor extension of 39m² to what had already been approved in 2008; 24m² was part of the 'semi enclosed' area to the door,

therefore an increase in the ground floor area of approximately 16% more than what had been originally approved

- That there was also an intention to add approximately 86m² to the first floor on top of what had been approved in 2008.
- That the materials chosen for the extensions this time was different to those approved in 2008, but the three main materials that were being proposed had been used in the local area several times. The three materials are corten, natural local stonework and charred natural trees.
 - Corten (like cladding) was a rather new material, but because of its appearance (steel that naturally rusts to an orange / brown colour), it gives a more traditional and historical appearance and echoed back to the old agricultural days. It was noted that corten had been used several times in the county with an example in Borth-y-Gest under applications C20/0471/44/LL and C21/0320/44/AC - a house located in a much more visible place than Tŷ'n Llwyn and adjacent to Ysgol Gynradd Borth-y-Gest. This example also used corten with natural stonework in the same way as the Tŷ'n Llwyn proposal.
 - Local Natural Masonry - local natural masonry was a material that had been used for hundreds, if not thousands of years in the area.
 - Charring Trees - the process of charring trees protected them from rotting. The appearance echoed back to the olden days where agricultural buildings were being clad in trees painted black - creating historical connections.
- Bringing these three main materials together would create a striking building, by using materials that were seen locally, and therefore was a nod to its habitat.
- The Officer noted in the report that the proposal did not meet criteria 1, 2 and 3 of Policy PCYFF3, but the applicant noted that the proposal; a) complied and improved the appearance of the site and the building and created a striking building; b) it sat in its habitat naturally - the proposal was not squeezed into the site and there was plenty of space surrounding it; c) used materials that were completely appropriate to the site and the environment.

c) Taking advantage of the right to speak, the Local Member made the following observations:

- The family was a local family, ran a business and employed locally
- The family was a family of eight and therefore needed more space
- The proposal was reasonable for a family
- The proposal would not impact others - located approximately 120m away from other houses
- The extension was behind the original house and therefore did not look much bigger
- Discussions had been held between the agent and applicant regarding the design and suitable materials to ensure the best standard
- That the design was in keeping with the site
- The extension would keep the young people of the family local, to support the business, the language and the community
- Supportive of the application

ch) It was proposed and seconded to refuse the application - the extension was on top of an existing extension and was out of character

d) In response to a comment regarding a suggestion to discuss further with the applicant about a more suitable application, the Assistant Head noted that if the plan was adapted, there would be a need to submit a brand-new application. He reiterated that a request for pre-application advice had been made but the guidance had not been accepted. He also noted

that it was possible to have a different extension of a design that would respect the site and the existing property.

RESOLVED: Refuse.

- 1. The proposed development's size, bulk, design and finish would not reflect or respect the site as it would create an unacceptable and incongruous feature on the form and character of the landscape and the local area and, therefore, on the local area's visual amenities. The proposal is therefore contrary to criteria 1, 2 and 3 of Policy PCYFF 3 of the Anglesey and Gwynedd Joint Local Development Plan, 2017, as well as the advice contained in the Technical Advice Note 12 document: Design.**

**5.4 Application Number C23/0806/00/LL
Viaduct Gardens, Stryd Yr Eglwys, Barmouth, LL42 1EL**

Proposed works in the area of Barmouth Viaduct Gardens

- a) The Planning Manager highlighted, that it was an application to improve the flood defence mechanisms. The work would include:-
 - Repairing, strengthening and raising the height of approximately 60m in length of sea wall;
 - Erection of secondary walls with new floodgates in the area behind the main sea wall;
 - Installation of new drainage network in order to manage surface water and flooding in the area behind the secondary walls and flood gates;
 - Installation of new surface water outlet pipe which obtrudes from the sea wall to the harbour;
 - Installation of flood resilience equipment in properties in the quay area.

It was reported that a sea wall would be re-built and surfaced with stone from the existing wall with a parapet wall section approximately 1.2 metres above the nearby floor level. The existing rock armour would be redistributed on the highest part of the beach across the front of the sea wall and reinforced with additional rocks as required. A new setback wall would be erected along the northern boundary of Viaduct Gardens, which would include glass on the highest section. The work would also include a plan to manage surface water with floodgates, gutters, drains and a variety of adaptations to the existing system as well as a new surface water outfall on the beach. At the end of the work, the public place in Viaduct Gardens would be restored through landscaping work and the installation of new street furniture.

In the context of the principle of the development, it was noted that the site was partially located within the development boundary of Barmouth. As a result, and without any other options in terms of an alternative location to provide the work, it was considered that the proposal was acceptable in terms of Policy PCYFF 1 of the LDP. Reference was made to policy AMG 4, which referred to Coastal Protection and asked for proposals to show that a preponderant economic and social benefit would derive from the development. It was also noted that proposals must ensure that there was no unacceptable harm to water quality, public access, the built environment, the character of the landscape or seascape and biodiversity impacts.

Several technical reports were submitted with the application which included significant evidence that justified the work in question.

In the Shoreline Management Plan, the policy for this part of Barmouth, which includes the harbour section and the access road, as well as seaside defences notes Hold the Line. The Shoreline Management Plan states "There would be a need to maintain and raise defences around the harbour and to maintain the road and railway defences and probably to further reinforce the defence at Ynys y Brawd. This is considered as sustainable and maintains the important use of the harbour and access to the town." As a result, it was considered that the principle of maintaining and increasing the height of defences around the harbour, the road and the railway was acceptable in principle based on policy ARNA 1 (however, the plan would have to comply with several other policies which considered the impact on the environment).

In the context of design and amenities, it was considered, as seen with many developments, the most detrimental impacts would be seen during the construction phase and this would be acknowledged in the Landscape and Visual Statement. It was considered that the proposal, in terms of its form and finish, was acceptable and offered a quality development in terms of the visual amenities by displaying a design and features which presented and created a development that would be suitable and appropriate to the site and within the wider area. As a result, it was considered that the proposal was acceptable based on the relevant requirements of Policy PCYFF 3, PCYFF 4, AMG 2 and AMG 4 of the LDP.

In the context of heritage and archaeological matters, it was reported that observations had been received by the Archaeological Planning Service, referring to the fact that the site had a potential for archaeological features. They therefore recommended imposing conditions on any planning permission to ensure a programme of archaeological work for the development; by imposing an appropriate condition to maintain a programme of archaeological work, the proposal was acceptable in terms of Policy AT 4 of the LDP.

In the context of flooding matters, observations were received by NRW noting that the FCA had shown that the plan would be an improvement in terms of flooding risks in the area around Viaduct Gardens in accordance with the Welsh Government guidelines, Adapting to Climate Change: Guidelines for Authorities on Managing Flood Risks and Coastal Erosion in Wales, dated August 2022.

When discussing biodiversity and ecological matters, as part of the application, a Habitats Regulations Assessment, Habitats Management Assessment - Preliminary Screening Report, Ecological Impact assessment and Preliminary Ecological Appraisal were submitted. It was noted that these assessments considered physical and coastal processes, water quality and deposits, marine ecology and nature conservation, geological ecology and nature conservation; and coastal protection and flood protection. The Council's Habitats Regulations Assessment had concluded that the proposal would be likely of having a substantial impact on the Pen Llŷn a'r Sarnau Special Area of Conservation and that NRW had drawn attention to concerns regarding the loss of a small intertidal habitat within the footprint and the possible change to a coastal process because of the proposed high pipe.

It was reiterated that Cyngor Gwynedd and NRW were competent authorities under the Habitats and Species Protection Regulations 2017 (as amended), and they must, before deciding to give permission to a project that was likely to have a substantial impact on a SAC, either alone or collectively with other plans or projects, making appropriate assessments of the project's implications for that site, considering its conservation

objectives. The proposal submitted falls within the marine environment and on the land and therefore the responsibilities of the Council and NRW overlap in terms of appropriate assessment matters. With the impact on the SAC falling within the marine environment, NRW would take the reins as the lead competent authority. An application for a Marine Licence was submitted to NRW and an appropriate assessment has been carried out as a result.

Having considered all the relevant planning matters, including local and national policies and guidelines, it was considered that the proposal complied with the requirements of the relevant policies.

- b) It was proposed and seconded to approve the application

RESOLVED: To approve with conditions

- 1. Commencement within five years.**
- 2. In accordance with the plans and documents submitted.**
- 3. Public Protection conditions - timings**
- 4. Submit and reach agreement on a CEMP**
- 5. Submit and reach agreement on soft and hard landscaping details.**
- 6. Implement the landscaping details.**
- 7. Plan to protect the structural condition and permanent access of the main public water supply crossing the site.**
- 8. Plan to protect the structural condition and permanent access to the public waste water assets crossing the site.**
- 9. Work hours of construction period.**
- 10. Sheet piling hours.**
- 11. Implementation of noise level mitigation measures.**
- 12. Installation of noise barriers.**
- 13. Submission and agreement on a Noise Management Plan for the construction period.**
- 14. Archaeological conditions.**

Note:-

SuDS, NRW, Network Rail, Public Protection and Welsh Water advice to the developer

The meeting commenced at 13:00 and concluded at 14:00

CHAIR

PLANNING COMMITTEE	DATE: 22/04/2024
REPORT OF THE ASSISTANT HEAD OF DEPARTMENT	

Number: 1

Application Number: C22/0898/42/LL

Date Registered: 28/09/2022

Application Type: Full

Community: Nefyn

Ward: Morfa Nefyn and Tudweiliog

Proposal: Construction of Chapel of Rest

Location: Land near a funeral director's building and existing public toilets Morfa Nefyn, LL53 6BW

Summary of the Recommendation: TO APPROVE WITH CONDITIONS

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1. Description:

- 1.1 The proposal involves constructing a new building to be used as a Chapel of Rest.
- 1.2 The building would measure approximately 8.2m by 14.8m and 2.3m to the eaves, and 3.7m to the ridge and it would provide a floor surface area of around 121sq.m. It is proposed to finish the building with blue/grey steel panels on the roof and grey shiplap boards on the walls. The floor plan shows that there will be an office, cold store, toilet, loading and unloading area for vehicles and a void for a Chapel of Rest would be located within the building.
- 1.3 The location of the proposal is in the middle of the village of Morfa Nefyn and is located adjacent to the B4417 highway, around 50m away from the crossroads with the B4412. There are no other buildings on this side of the road in this location (except for the funeral director's building and existing public toilets) and it is located on the outskirts, but outside, the development boundary.
- 1.4 The application is a re-submission of a proposal that was refused under reference C22/0568/42/LL. The applicant's agent has provided a statement in response to the refusal reasons for the previous application. The statement notes the following points:
 - The applicant runs a funeral director's business and he rents the existing workshop.
 - This workshop is located immediately adjacent to the proposal site.
 - There is no intention to use the proposed Chapel of Rest as a workshop, and the applicant intends to continue to rent the workshop.
 - The proposal is for the extension of the existing building, and it would not affect other local businesses.
 - The agent is of the opinion that should the two buildings operate separately in the future, it would be a workshop, and the other would be a Chapel of Rest.
 - There would be equipment to store the deceased within a temperature-regulated area, and space would be provided for families to visit before the funeral. The existing workshop does not provide this service for the families.
 - The proposed Chapel of Rest would be located immediately adjacent to the existing workshop and this would enable a seamless operation between both buildings.
 - The proposed Chapel of Rest offers a space for loading and unloading.
 - It would not be possible to visit the Chapel without making a prior arrangement, and it would only provide a service for a small number of people; therefore, no more than two cars would visit.
 - The agent has provided examples of local buildings with similar finishes to what is proposed here.
- 1.5 Originally, it was not clear how the proposed building would operate with the existing building and no information had been submitted as part of the application regarding the current and proposed use of the existing workshop.
- 1.6 Further information has now been received, confirming that the applicant is one of three on the coroner/police list for dealing with emergency calls in the Pen Llŷn area. The new building would be used to store a hearse, providing a fridge and room for the family/doctor to visit the deceased. The applicant has confirmed that the existing building would be used as a workshop to produce coffins and to store stock close at hand (mixed stock of various types of coffins including wicker and cardboard). The current building is not accessible as there is a staircase down to the part currently used as a cold store and therefore a trolley cannot be used in compliance with health and safety requirements. In addition, it is proposed to purchase a new hearse and it would not be possible to park this within the existing building due to the increased length of the new hearse, this means that the hearse would have to be loaded outside in a location open to the public. The applicant confirms that the business would work effectively by using both

PLANNING COMMITTEE	DATE: 22/04/2024
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buildings. A plan has been provided showing how the existing building is being used and how it will be used should the new building be approved.

- 1.7 It is also noted that a revised site plan has been submitted which extends the application site to improve access into the site, provide three additional parking spaces together with a turning area within the site and to keep the vehicular access doors into the building clear. There is also a Green Statement and Infrastructure Plan proposing to plant a hedge and install nesting boxes and bat boxes on the proposed building.
- 1.8 The application form has been amended to confirm that part of the application site is owned by the property next door, and the design and access statement confirms that the applicant has a rent agreement for the workshop, and it is unclear what the situation is in relation to the land where the Chapel of Rest is to be built.
- 1.9 Correspondence was received from the owner of the current building confirming that he is renting the building to the applicant on a year-by-year agreement, but that the applicant has not informed him that this request has been submitted. As land ownership is not a planning matter, and since the site owner is aware that a planning application has been submitted, it is possible to press on to determine the application as submitted.
- 1.10 The application is submitted to the Planning Committee for a decision at the request of the Local Member. It is noted that the application has been deferred from the Planning Committee on 28.11.2022 at the request of the applicant to resolve highway matters, and to submit further information.

2. Relevant Policies:

- 2.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 and paragraph 2.1.2 of Planning Policy Wales emphasise that planning decisions should be in accordance with the Development Plan, unless material considerations indicate otherwise. Planning considerations include National Planning Policy and the Local Development Plan.
- 2.2 The Well-being of Future Generations Act (Wales) 2015 places a duty on the Council to take reasonable steps in exercising its functions to meet the 7 well-being goals within the Act. This report has been prepared in consideration of the Council's duty and the 'sustainable development principle', as set out in the 2015 Act. In reaching the recommendation, the Council has sought to ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs.

2.3 Anglesey and Gwynedd Local Development Plan:

TRA 2: Parking Standards

TRA 4: Managing Transport Impacts

PS 5: Sustainable Development

PCYFF 1: Development Boundaries

PCYFF 2 - Development Criteria

PCYFF 3: Design and place shaping

PCYFF 4: Design and Landscaping

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CYF 6 - Re-use and adapt rural buildings or a residential unit for business use or construct new units for business/industry.

PS19: Conserving and where relevant enhancing the natural environment.

2.4 National Policies:

Future Wales: The National Plan 2040

Planning Policy Wales (Edition 12 - February 2024)

3 Relevant Planning History:

C22/0568/42/LL - Construction of Chapel of Rest – REFUSED - 09-08-2022

4 Consultations:

Community/Town Council: No objection

Welsh Water: Accordingly, if you are minded to grant planning permission for the above development, we would request that the following Conditions and Advisory Notes are included within the consent to ensure no detriment to existing residents or the environment and to Dŵr Cymru Welsh Water's assets:

Condition

No development to commence until a drainage scheme for the site has been submitted to the Local Planning Authority and approved in writing. The scheme will provide for the disposal of foul water, surface water and ground water, and includes an assessment of the potential to discharge surface and ground water using sustainable measures. Thereafter, the scheme will be implemented in accordance with the approved details prior to the occupation of the development and no further foul water, surface water and land drainage may be allowed to connect directly or indirectly to the public sewerage system.

Reason: To prevent hydraulic overloading of the public sewerage system, to protect the health and safety of existing residents and ensure that there is no pollution or detriment to the environment.

Advisory Notes

As of 7th January 2019, this proposed development is subject to Schedule 3 of the Flood and Water Management Act 2010. When this proposed development results in a total impervious area of 100 square metres or more, Sustainable Drainage Systems (SuDS) will require approval in accordance with the 'Statutory Standards for Sustainable Drainage Systems - designing, constructing, operating and maintaining surface water drainage systems'. It is therefore recommended that the developer engages in consultation with Cyngor Gwynedd, as the SuDS approval body (SAB), in relation to their proposals for SuDS features.

Please note: Dŵr Cymru Welsh Water is a statutory consultee to the SAB consultation process and will provide comments to any SuDS proposals by response to SAB consultation.

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The applicant may need to apply to Dŵr Cymru / Welsh Water for any connection to the public sewer under S106 of the Water Industry Act 1991. If the connection to the public sewer network is either via a lateral drain (i.e. a drain which extends beyond the connecting property boundary) or via a new sewer (i.e. serves more than one property), it is now a mandatory requirement to first enter into a Section 104 Adoption Agreement (Water Industry Act 1991). The design of the sewers and lateral drains must also conform to the Welsh Ministers Standards for Gravity Foul Sewers and Lateral Drains, and conform with the publication "Sewers for Adoption" - 7th Edition. Further information can be obtained via the Developer Services pages of www.dwrcymru.com.

The applicant is also advised that some public sewers and lateral drains may not be recorded on our maps of public sewers because they were originally privately owned and were transferred into public ownership by nature of the Water Industry (Schemes for Adoption of Private Sewers) Regulations 2011. The presence of such assets may affect the proposal. In order to assist us in dealing with the proposal the applicant may contact Dŵr Cymru Welsh Water to establish the location and status of the apparatus. Under the Water Industry Act 1991 Dŵr Cymru Welsh Water has rights of access to its apparatus at all times.

Environmental Health:

Response 10.10.2022

I have viewed the above-mentioned planning application regarding the Construction of a Chapel of Rest. I note from the plan that a cold room will be located in the proposed building. Is it possible to obtain details as to whether any mechanical equipment will be installed as a part of the application, for the purposes of keeping the room cold?

Response 03.11.2022

Following the details below, it seems that the cooling unit will be installed inside the building and there will be no unit of any type outside the building. The Service does not have any further observations and it is satisfied that the unit will be installed indoors. No mechanical units should be installed outside the building.

Highways Unit:

Response 13.10.2022

I ask the applicant to provide additional information to enable us to assess whether the development complies with the adopted parking standards. The applicant should provide the number of proposed seats and/or the floor area of the prayer space in m2.

Response 09.11.2022

Paragraph 2.2.6 highlights that there will be two off-road parking spaces, but it appears that the applicant has chosen not to present the information sought, and therefore it is not possible for me to assess the compliance of the proposal. I also have concerns that this paragraph states that only two cars will be

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permitted on the site at once. How will this be implemented in reality? If more than two members of the family wish to go there at the same time, I believe that on-street parking will occur.

Response to the revised site plan (Rev E)

I'm happy with the new arrangement so I have no objection to the application. Can we please include the following condition?

P37B - The car parking area must be completed in total accordance as shown on the enclosed plan prior to the commencement of the use herein approved

Biodiversity Unit:

Response 01.03.2024

No assessment has been made of potential impact to biodiversity. From street view, the site appears to be improved grassland and bracken. This is not very valuable in ecological terms so don't think a survey is required (I would however ask how the hedge and trees will be retained and protected during construction, if these will be lost or pruned back, this needs to be detailed in the Green Infrastructure Statement as an impact to biodiversity and appropriately mitigated / compensated for). We should also be provided with a Green Infrastructure Statement.

Response 07.03.2024

The submitted Green Infrastructure and Plan is really good, no issues with this development.

Public Consultation:

A notice was posted on the site and nearby residents were informed. The notification period came to an end and the following observations were received:

- Road safety and parking matters
- Location - should be in an industrial estate
- No need for this proposal due to the current provision.
- Concern about alternative use of the Chapel of Rest should the owner of the existing building terminate the rent agreement.

5 Assessment of the material planning considerations:

The principle of the development

- 5.1 General planning policies within the Gwynedd and Anglesey Joint Local Development Plan support applications for the erection of business buildings, provided that they are appropriately located and are for an appropriate need.
- 5.2 The site is in open countryside, outside but abutting the development boundary of the village of Morfa Nefyn. The site is located immediately adjacent to public toilets and a building that is already used by the applicant for a funeral director's business.
- 5.3 The application has been submitted to provide a Chapel of Rest, which would be ancillary to rather than replacing the existing building, and information has now been submitted regarding the floor plan and use of the existing building, and how this will change and be used with the new

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- building as a single business. It is noted that there is a refrigerated area and a hearse storage area in the existing building, but due to health and safety reasons and the size of the new hearse, the existing building is not suitable to continue the business. These elements would therefore move into the new building and the existing building would be used as a workshop to provide and store a stock of coffins.
- 5.4 The information submitted as part of the application form confirms that the applicant partly owns the application site with the property next door currently owning part of it, and the design and access statement confirms that the applicant rents the existing workshop. Land ownership is not a planning matter, but there is a need to be certain that the owner of any land is aware of the proposal, and to this end a consultation letter has been sent to the person who identified themselves as the workshop's owner on the previous application. A response has been received from him noting his concern about the proposal with the existing building, and what the use of the building that is subject to this application would be should the rent agreement be terminated. It is noted that this is a matter for the applicant and the owner, therefore dealing with the planning application must proceed.
- 5.5 When assessing the previous application, those who claim to be the owners of the existing building question the need for two funeral director businesses in the same village, should he decide to take over the business himself or rent the building to someone else. It is noted that this has added to the concern about how the two buildings would operate as a part of the applicant's business. Following the receipt of additional information relating to the current and proposed use of the existing building, and plans confirming this position as mentioned in paragraph 5.3, it is unlikely that the existing building by itself would be suitable for use as a separate funeral director business, and therefore it is considered that the proposal will entail the extension and enhancement of the existing business.
- 5.6 It is therefore now considered that there is sufficient justification and rationale to construct a business building as an extension of the existing business in the open countryside and the proposal complies with the requirements of policy PCYFF 1 and criterion 2 of policy PS 5.
- 5.7 Policy CYF 6 applies as the site is located outside the development boundary. The policy permits proposals for new units for industry or business, provided that they meet the following criteria:
1. That the scale and nature of the development is acceptable considering its location and the size of the building in question - the building is substantial and although it is located within the village and on the outskirts of the development boundary, it is in open countryside and there is insufficient justification or logic for its need and there is no guarantee how the proposal will operate in relation to the existing building on the site as no information has been submitted to show the operational relationship (i.e. which operation will happen where, and whether the two buildings need to be located close together).
 2. That the development would not lead to a use that conflicts with nearby uses or has an impact on the viability of similar uses nearby - it is unclear how the proposal would operate with the existing building near the site and whether there would be a need for both business buildings should the two buildings operate separately.
 3. Not applicable.
- 5.8 Similarly, it is now therefore considered that adequate information has been provided to ensure that the scale and nature of the proposal are acceptable given its location and would not result in a use that would have an impact on the viability of similar uses nearby, as it is unlikely that the existing building on the site is suitable on its own for the provision of a funeral director's business. The proposal therefore complies with the requirements of criteria 1 and 2 of policy CYF 6.

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Visual, general and residential amenities

- 5.9 Policy PCYFF 3 of the LDP states that proposals are expected to demonstrate a high-quality design that gives full consideration to its context in the natural, historic and built environment. The building is similar to an agricultural building in terms of its size and design, and it is considered that this type of building is acceptable. It is acknowledged that the agent has provided examples of uses made of grey shiplap boards in the local area, however, it is noted that these are examples of clad sections of residential houses, and it is considered that finishing a substantial building in this way would continue to be a feature that is out of character with the area. Nevertheless, it is acknowledged that a condition could be imposed regarding the finish of the building, should the principle of providing the building be acceptable.
- 5.10 Bearing this in mind, the proposal is acceptable and complies with the requirements of policies PCYFF 3 and 4 of the LDP.

Highways Matters

- 5.11 The site is located outside the village boundary and faces the B4417 highway. The existing building is located immediately adjacent and is used by the applicant to run a funeral director business. It appears that there is informal space for approximately two vehicles in front of the existing building. The design and access statement and plans state that there are two parking spaces available in front of the existing building.
- 5.12 It is also noted that there is space within the proposed buildings for loading and unloading from an ambulance or hearse. It is considered that the door for this space would be sufficient for a hearse, but maybe not for an ambulance, and therefore the ambulance may have to unload in front of the building.
- 5.13 Previously, the parking spaces were placed in front of the access doors to the loading/unloading bay, and it was not clear what the arrangement would be should the doors need to be used when the parking bays were in use. By now it is noted that a revised site plan has been submitted which provides three additional parking bays together with a parking and turning area leaving the area in front of the vehicle loading doors empty.
- 5.14 The Transportation Unit has offered further observations on the proposal and have confirmed that they have no objection to the proposal by now based on the revised site plan (rev E) together with imposing a condition to ensure that the parking bays are provided prior to the use of the building that is the subject of this application.
- 5.15 To this end, the proposal complies with the requirements of policies TRA 2 and 4.

Biodiversity Matters

- 5.16 The proposal involves constructing a building from scratch and providing parking and a turning space for vehicles. The application site is directly adjacent to the existing building and public toilets. The application site has been extended since the original proposal to ensure adequate parking and turning space within the site. To this end, it has meant that a section of an existing hedge has been lost. A Green Infrastructure Statement and Plan has been submitted which recognises the features being lost and proposes mitigation measures and improvements which include planting a new native hedge on the boundaries of the site, together with retaining part of the existing hedge and installing two bat boxes and three bird boxes on the proposed building.
- 5.17 The Biodiversity Unit has confirmed that the content of the Green Infrastructure Statement and Plan is acceptable and therefore the proposal is considered to comply with the requirements of policy PS19 and the update to Chapter 6 of Planning Policy for Wales (PPW), which covers green

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infrastructure, net benefit to biodiversity, the protection afforded to Sites of Special Scientific Interest and trees and woodlands.

6 **Conclusions:**

- 6.1 Following receipt of additional information and plans relating to the existing building and how both buildings would be used in the future, together with a site plan with a revised parking arrangement and biodiversity mitigation and enhancement measures, the proposal is now considered acceptable and compliant with the requirements of the policies set out above.

7 **Recommendation:**

To approve – conditions

1. 5 years
2. In accordance with the plans and statement and the green infrastructure plan
3. Agree on external finish
4. Welsh Water condition
5. Parking
6. External appliances may not be installed in relation to the refrigerator without prior agreement with the Local Planning Authority

Notes:

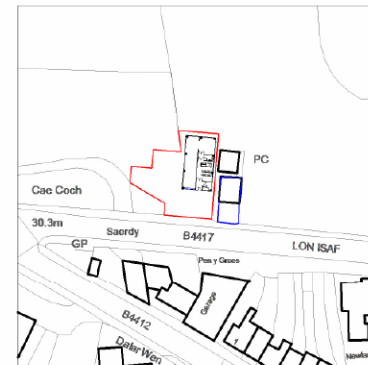
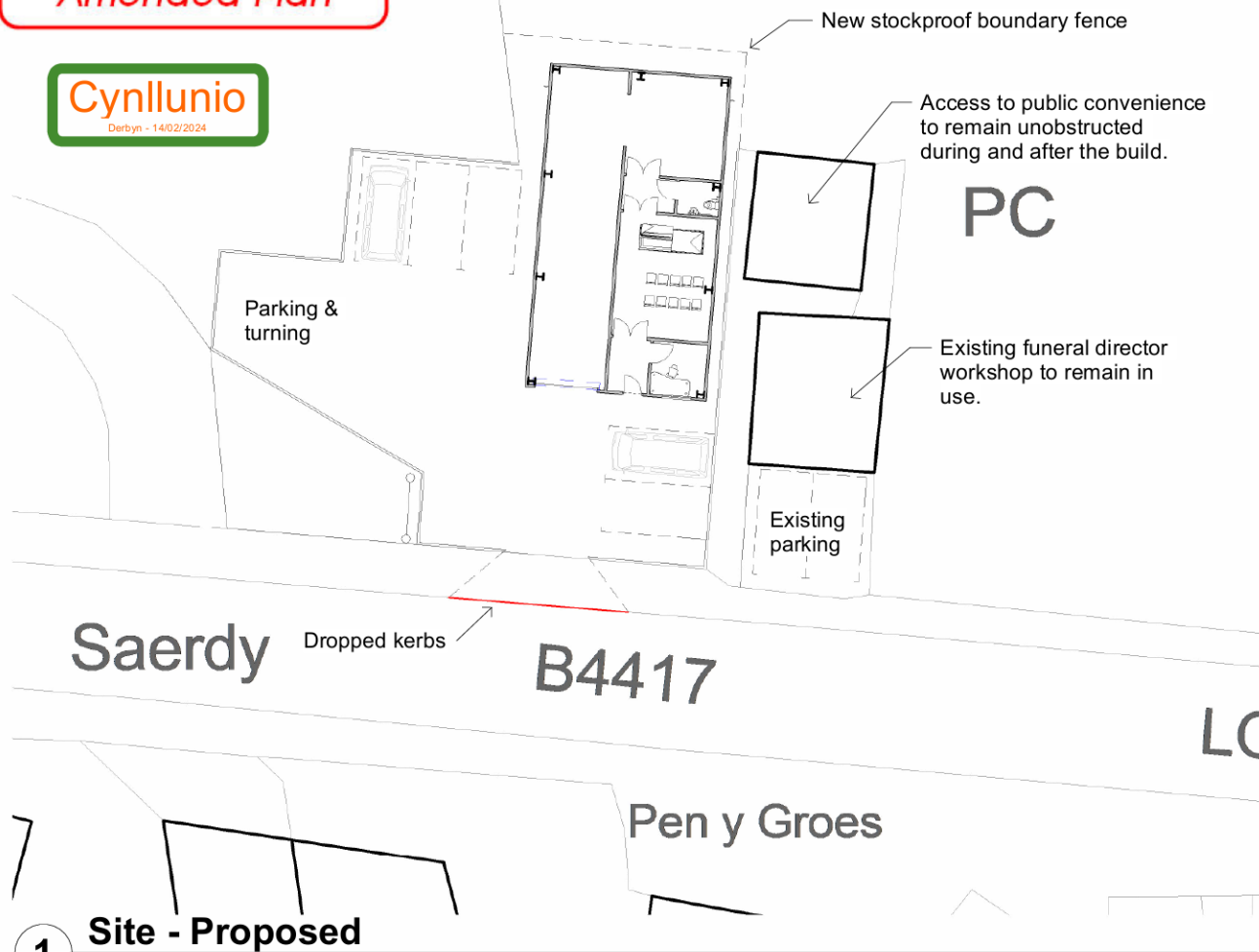
SUDS

Biodiversity supervision note

Cynllun Diwygiedig Amended Plan

Cynllunio

Derbyn - 14/02/2024



2 Location

1 : 1250

1 Site - Proposed

1 : 200



No.	Description	Date
A	Notes	02/09/22
B	Parking	28/11/22
C	Elec pole	25/1/23
D	Splay	27/2/23
E	Site dims	05/10/23

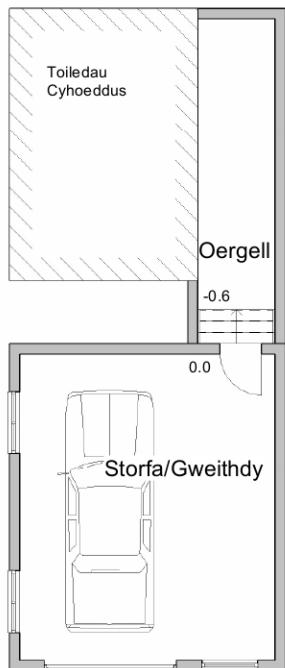
Haydn E. Williams Cyf.
Syrffwyr Adeiladu Siartredig
Chartered Building Surveyors

RICS
Gellidara, Penrhos, Pwllheli, Gwynedd, LL53 7HF
(01758) 614444
info@haydnwilliams.com
www.haydnwilliams.com

TEITL PROSIECT - PROJECT TITLE		CLEIENT - CLIENT		
Ymgymmerwr Angladdau, Morfa Nefyn		Dewi Thomas		
TEITL - TITLE	Site Location	DYDDIAD - DATE	RHIF PROSIECT - PROJECT NUMBER	GRADDFA - SCALE (@ A3)
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		GEW	0770-S101	E
		GWRWYDD GAN CHECKED BY		
	HEW			

Page 6
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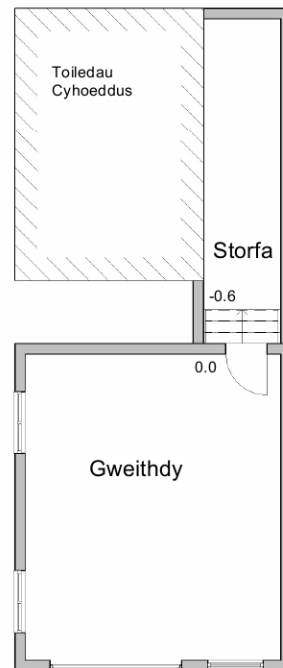
06/10/2023 11:45:51



1

Cynllun Llwr Presennol

1 : 100



2

Cynllun Llwr Arfaethedig

1 : 100

No.	Description	Date

Haydn E.
Williams Cyf.Syrfeyr Adeiladu Siartredig
Chartered Building Surveyors

Gellidara, Penrhos, Pwllheli, Gwynedd, LL53 7HF

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TEITL PROSIECT - PROJECT TITLE

Ymgymwrwr Angladdau, Morfa Nefyn

TEITL - TITLE

Adeilad Presennol

CLEIENT - CLIENT

Dewi Thomas

DYDDIAD - DATE

14/02/2024 15:06:28

RHIF PROSIECT - PROJECT NUMBER

0770

GRADDFA - SCALE (@ A3)

1 : 100

DARLUNYDD GAN

DRAWN BY

GEW

RHIF CYNLLUN - DRAWING NUMBER

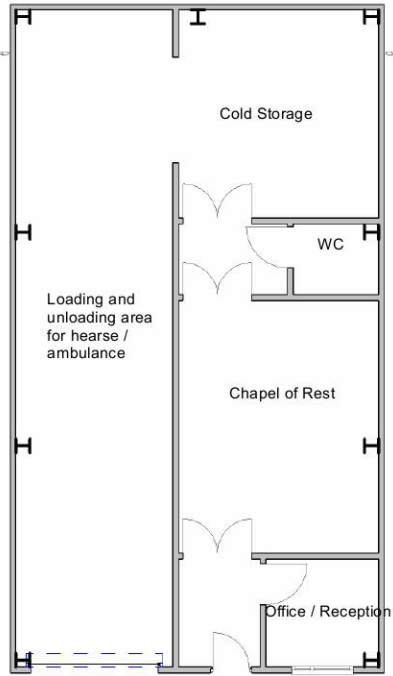
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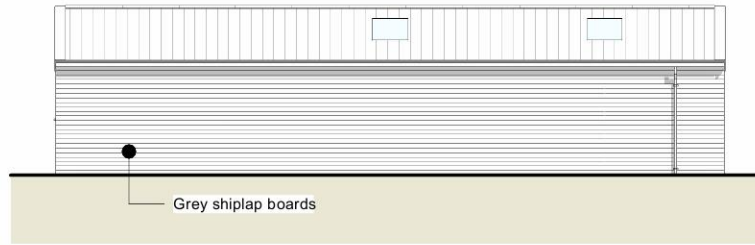
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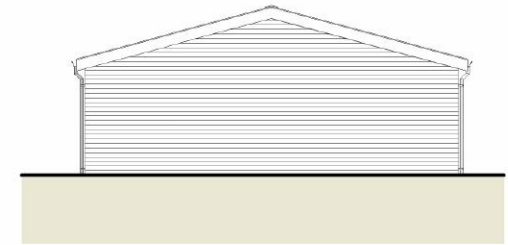
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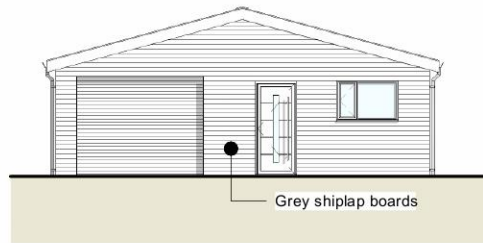
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1 : 100



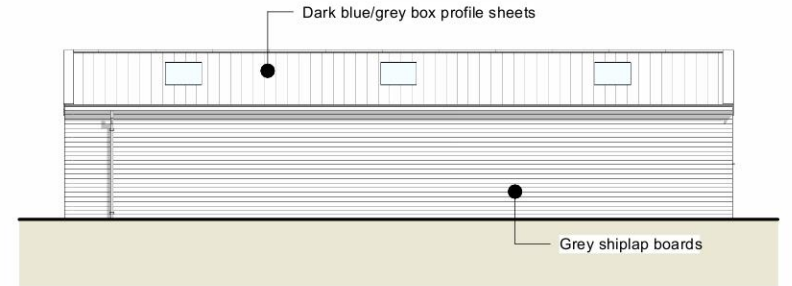
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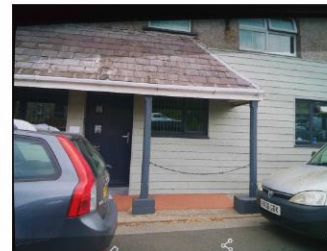
3 **North - Proposed**
1 : 100



4 **South - Proposed**
1 : 100



5 **West - Proposed**
1 : 100



Post Office, Lon Terfyn, Morfa Nefyn, Pwllheli, LL53 6AP

Haul a Gwynt, Lon Uchaf, Morfa Nefyn, Pwllheli, LL53 6AL

Materials proposed for the Chapel of Rest can be seen on numerous buildings in the locality, some just a stones throw away from the proposed site. The wall cladding is Marley Cedral cladding boards.

6 **Materials**
1 : 200

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No.	Description	Date
A	Notes	02/09/22

Haydn E. Williams Cyf.
Syrfewyr Adeiladu Siartredig
Chartered Building Surveyors

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TEITL PROSIECT - PROJECT TITLE Capel Gorffwys, Morfa Nefyn		CLEIENT - CLIENT Dewi Thomas	
TEITL - TITLE Proposed Plans		DYDDIAD - DATE 07/10/21	RHIF PROSIECT - PROJECT NUMBER 0770
		DARLYNIWYD GAN DRAWN BY GEW	GRADDFA - SCALE (@ A3) As indicated
		GWIRWYD GAN CHECKED BY HEW	RHIF CYNLLUN - DRAWING NUMBER 0770-A101
			REV A



Existing hedgerow

2x Schwelger Wall-mounted Bat Shelter 2FE

New native hedge planting

Schwelger Bird Home 1MR

New native
hedge planting

Schwelger Bird Home 1MR

Schwelger Nest Box 1B

GWYBODAETH YCHWANEGOL
ADDITIONAL INFORMATION

PC

Cynllunio

Derbyn - 07/03/2024

Saerdy

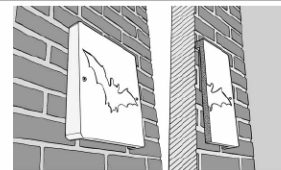
B4417

LC

Pen y Groes

Biodiversity Plan

1 : 200



Schwelger Wall-mounted Bat Shelter 2FE



Schwelger Bird Home 1MR



Schwelger Nest Box 1B

New tree & hedge planting

To maximise the benefit to general biodiversity, native hedging species should be utilised, preferably of local provenance.

Recommended species include:

Birch - (1.5m between plants, 2.5-3m tall)
Crab apple - (0.3m between plants, 60cm/90cm tall)
Blackthorn - (0.3m between plants, 60cm/90cm tall)
Willow - (0.3m between plants, 60cm/90cm tall)
Elder - (0.3m between plants, 60cm/90cm tall)
Holly - (1.5m between plants, 2.5-3m tall)
Rowan - (1.5m between plants, 2.5-3m tall)
Beech - (0.3m between plants, 60cm/90cm tall)
Maple - (0.3m between plants, 60cm/90cm tall)
Cherry - (1.5m between plants, 1.5m tall)
Oak - (1.5m between plants, 2.5-3m tall)
Alder - (1.5m between plants, 2.5-3m tall)
Lime - (0.9m between plants, 1.0m tall)
Hazel - (0.9m between plants, 1.0m tall)
Hawthorn - (0.3m between plants, 60cm/90cm tall)
Guelder Rose - (0.3m between plants, 60cm/90cm tall)
Dog Rose - (0.3m between plants, 60cm/90cm tall)
Gorse - (0.3m between plants, 60cm/90cm tall)

Planting hedgerows and small woodlands can bring benefits to nature and the landscape. By growing trees, carbon dioxide is raised from the atmosphere and water is absorbed reducing the amount of water that flows off the farm land.

Plant hedge plants that are at least 45cm-60cm high which should have a strong leader shoot.

Protect newly planted hedges from livestock and machinery.

Plant new hedgerows at a density of 7 plants per metre in a staggered double row with 20cm-40cm between each row.

No.	Description	Date

TEITL PROSIECT - PROJECT TITLE		CLEIENT - CLIENT	
Ymgymwrwr Angladdau, Morfa Nefyn		Dewi Thomas	
TEITL - TITLE	Green Infrastructure Design Plan	DYDDIAD - DATE 07/03/2024 15:30:43	RHIF PROSIECT - PROJECT NUMBER 0770
		DARLUNWYD GAN DRAWN BY GEW	GRADDFA - SCALE (@ A3) As indicated
		GWRWYD GAN CHECKED BY HEW	RHIF CYNLLUN - DRAWING NUMBER 0770-S102
			REV





PLANNING COMMITTEE	DATE: 22/04/2024
ASSISTANT HEAD OF DEPARTMENT'S REPORT	

Number: 2

Application Number: C24/0071/16/LL

Date Registered: 05/02/2024

Application Type: Full

Community: Llandygai

Ward: Arllechwedd

Proposal: Erection of 10 industrial units, new access, parking and landscaping

Location: Cnc Fuels Parc Bryn Cegin, Llandygai, Bangor, Gwynedd, LL57 4BG

Summary of the Recommendation: TO APPROVE WITH CONDITIONS

PLANNING COMMITTEE	DATE: 22/04/2024
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1 Description:

- 1.1 This is an application for full planning permission to erect a building on one of the empty plots within Bryn Cegin Business Park, Llandygai. The building would be split into ten units, with the intention of obtaining consent for Use Classes B2 (General Industrial), however there are currently no specific users for the units. This would be the first step in a proposal for three similar buildings on nearby sites.
- 1.2 The building would have a total floor surface area of 995m² and would be 8.2m in height to the roof ridge. The walls and the roof would be covered in profiled steel panels. The plot around building 1 would measure 0.9 ha and this would include 31 parking spaces (including 10 disabled spaces).
- 1.3 Access to the site would be provided via the existing vehicular access which provides access from the inner road serving the broader Parc Bryn Cegin site.
- 1.4 The site is located on the Bryn Cegin Strategic Regional Business Site. It would be approximately 1km south of the development boundary of the Bangor Sub-regional Centre, as defined by the Anglesey and Gwynedd Joint Local Development Plan (LDP). The site is also within the Buffer Zone of the Llandygai Henge and Cursus Registered Monument (CN 153)
- 1.5 The following documents were submitted to support the application:
 - Design and Access Statement
 - Welsh Language Statement
 - Drainage Strategy
 - Construction Transport Management Plan (CTMP)

2. Relevant Policies:

- 2.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 and paragraph 2.1.2 of Planning Policy Wales emphasise that planning decisions should be in accordance with the Development Plan, unless material considerations indicate otherwise. Planning considerations include National Planning Policy and the Local Development Plan.
- 2.2 Under the Well-being of Future Generations (Wales) Act 2015 the Council has a duty not only to carry out sustainable development, but also to take reasonable steps in exercising its functions to meet its sustainable development (or well-being) objectives. This report has been prepared in consideration of the Council's duty and the 'sustainable development principle', as set out in the 2015 Act, and in making the recommendation the Council has sought to ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs. It is considered that there would be no significant or unacceptable impact upon the achievement of well-being objectives as a result of the proposed recommendation.

2.3 Anglesey and Gwynedd Joint Local Development Plan. (July 2017)

PS 1: Welsh Language and Culture

PS 4: Sustainable transport, development and accessibility

PS 5: Sustainable Development

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PS 6: Alleviating and adapting to the effects of climate change

PS13: Providing opportunity for a flourishing economy

PCYFF 1: Development Boundaries

PCYFF 2: Development criteria

PCYFF 3: Design and place shaping

PCYFF 4: Design and landscaping

PCYFF 5: Carbon Management

TRA 2 : Parking standards

TRA 4: Managing transport impacts

CYF 1: Safeguarding, allocating and reserving land and units for employment use

AMG 5: Local biodiversity conservation

AT 4: Protection of non-designated sites and their setting

2.5 National Policies:

Planning Policy Wales Edition 12, 2024

Technical Advice Note 23: Economic Development (2014)

Technical Advice Note 24: The Historic Environment

3. Relevant Planning History:

- 3.1 No recent planning history on this specific site, but there is a general planning history for the development of the Bryn Cegin industrial site.

4. Consultations:

Community/Town Council: No objection

Suggest that the applicant contacts the Welsh Language Commissioner to seek information about the “Cynnig Cymraeg”.

Transportation Unit: No response received

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Welsh Government (Transportation)	No guidance to offer in this case.
Footpaths Unit	There would be no impact on any public right of way resulting from this development.
Economy and Community Department	No response received
Language Unit	Welcome the intention to use Welsh names and to publish bilingual documents. Express concern that there is insufficient evidence to justify that the development will increase the use of the Welsh language. Encourage the applicant to contact the Welsh Language Commissioner to seek information about the "Cynnig Cymraeg".
Public Protection:	Request conditions to: • Ensure that the details of any mechanical equipment / external flue are submitted prior to their installation on the building • A noise insulation plan should be submitted to safeguard the amenities of neighbouring properties. • Suggest setting conditions for operational times • No unit should be brought into use until the connection with the public sewer has been completed. • Act in accordance with the submitted CTMP. • The details of any external lights should be agreed prior to their installation on the site.
Land Drainage Unit:	Due to the size and nature of the development, an application will need to be made to the SuDS Approval Body for approval before construction work commences.
Welsh Water	Request a condition to agree a method for foul water drainage and offer guidance for the developers.
Network Rail	No objection
Gwynedd Archaeological Planning Service	There are no archaeological implications arising from this application.
Public Consultation:	A notice was posted on the site and nearby residents were notified. The advertising period has expired and an objection was received from the Local Member as there is insufficient evidence to justify that the development will increase the use of the Welsh language.

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5. Assessment of the material planning considerations:

The Principle of the Development

- 5.1 It is a requirement that planning applications are determined in accordance with the adopted development plan, unless other material planning considerations state otherwise. The Anglesey and Gwynedd Joint Local Development Plan (LDP) is the adopted 'Development Plan' in this case. The application site is located outside the development boundary of the Sub-regional Centre of Bangor as defined in the LDP but it is part of a site that has been protected as a Strategic Regional Business Site. Policy PCYFF 1 of the LDP encourages the refusal of developments outside development boundaries, unless they are in accordance with other local or national planning policies. In this case, given its designation as a Business Site in the LDP, there is appropriate justification for approving this type of development in this location.

Economic Development

- 5.2 Parc Bryn Cegin is protected as a Strategic Regional Business Site for businesses in Use Classes B1, B2 and B8 by policy CYF 1 in the LDP and therefore the proposal for business units within use class B2 is consistent with this policy requirement.
- 5.3 Strategic Policy PS 13 in the LDP aims to facilitate economic growth by supporting several aspects of the local economy including supporting economic prosperity by facilitating appropriately scaled growth. This is a plan to enable employers to establish a business locally in a site of strategic importance and it is believed that the proposal is for suitable use at an appropriate scale for its location within an industrial site of this type. It is therefore considered that the proposal satisfies the requirements of policy PS 13 in the LDP.

Design, general and residential amenities

- 5.4 Generally, policies PCYFF 2 and PCYFF 3 of the Joint Local Development Plan encourage the approval of proposals for new development provided they do not have a detrimental impact on the health, safety or the amenities of the residents of local properties or on the area in general.
- 5.5 Although fairly large, the new building would be of a size, design and materials that would be expected within contemporary industrial buildings. The site is hidden from public places due to the existing growth and the natural screening provided by the landscape. Given its location on an industrial estate that has already received planning permission, it is not considered that this business site would cause significant harm to the site's general appearance or affect the area's visual amenities.
- 5.6 There is residential property approximately 130m from the site, and as this is a designated industrial site it is believed that it is inevitable that some noise will derive from the site. However, it must be noted that businesses in use class B2 could be ones that can generate significant noise impacts and there is no assurance regarding the end use of the units; indeed, there is nothing from a planning perspective to prevent the whole site from being operated as one large industrial unit. In the absence of any specific noise assessment for the uses, it is believed reasonable to keep to the operational hours during a normal working day until it can be shown that no significant additional harm derives from any specific activity. Any individual business will be free to submit an application to vary its operating hours, in accordance with the evidence available at the time.

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5.7 The Public Protection Unit suggested setting a number of additional conditions to ensure that there will be no harm to the amenities of the dwellings which abut the estate. Ultimately, given the busy nature of the surrounding roads and the proximity of the existing Llandygai industrial estate, by keeping to reasonable operating hours, it is not believed that these businesses are likely to create a significant additional harmful impact on residential amenities. There are also regulations outside the planning field to manage noise that causes a constant nuisance to local residents.

5.8 Overall, the layout of the proposed development is considered to be acceptable and suited to the location. It is not considered that the development will cause significant harm to the amenity quality of the site or the local neighbourhood compared to what could occur on the site under its designation in the LDP and therefore it is considered that the development is acceptable under Policies PCYFF 2 and PCYFF 3 of the LDP as they relate to these matters.

Highways matters

5.9 Welsh Government's Transportation Department had no objection to the plan in terms of its impact on transport, and extensive space for parking has been allocated around the site. As the development uses the road network designed for the industrial estate, it is accepted that the existing infrastructure has been designed to cope with the transport levels as envisaged for this site. The location is also connected to the local walking and cycle paths network with public footpaths passing the front of the site and Lôn Las Ogwen running along the western boundary of Bryn Cegin. There is also a bus stop in the village of Llandygai, which is located approximately 450m away. Therefore, it is believed that the development would meet the requirements of policies TRA 2 and TRA 4 of the LDP in relation to parking requirements and highway safety and that the site is in an accessible location for alternative modes of transport, in accordance with the objectives of Policy PS 4 of the LDP.

Biodiversity

5.10 In accordance with the requirements of Planning Policy Wales (February 2024), it is a requirement to submit a Green Infrastructure Statement to support every planning application to demonstrate how the development in question will contribute to the enhancement of biodiversity in Wales. The applicants are aware of this but at the time of writing the report no statement had been received. The matter will be further reported upon to the committee. However, given the location of the proposal, on an existing industrial estate, it is believed that it would be appropriate to try to secure biodiversity improvements that contribute to the green infrastructure by means of an appropriate planning condition to agree on a Biodiversity Enhancement Plan before the development of the site commences. In doing so, it is believed that the development would be consistent with PPW and comply with the requirements of Policy AMG 5 of the LDP that aim to protect, and where appropriate, enhance the area's biodiversity.

Language Matters

5.11 In accordance with the Planning (Wales) Act 2015, it is a duty when making a decision on a planning application to consider the Welsh language. Supplementary Planning Guidance (SPG) 'Maintaining and Creating Unique and Sustainable Communities' provides further guidance on how it is expected for Welsh language considerations to be incorporated in each relevant development. It is noted that there are some specific types of development where it will be required for the proposal to submit a Welsh Language Statement or a Welsh Language Impact Assessment. A Welsh Language Statement has been submitted in support of this application and the statement concludes that there is no need to submit a Welsh Language Statement to support

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the application, specifically as the thresholds set within the criteria of Policy PS1 have not been reached.

- 5.12 Excluding the developments that meet the thresholds for submitting a Welsh Language Impact Statement / Assessment, Appendix 5 of the SPG provides guidance on the type of relevant applications where consideration should be given to the Welsh language. The guidance contained in Appendix 5 states that all retail, commercial or industrial developments that are not required to submit a Welsh Language Statement/Assessment should demonstrate how consideration has been given to the language. The submitted Planning Statement along with the proposal have highlighted the consideration given to the Welsh language in considering the proposal. The Statement concludes that the development would not have a detrimental impact on the Welsh language, and that it is likely that the development would increase the use and prominence of the Welsh language locally. The report notes the following points:
- The applicant was brought up on Anglesey, has a strong local connection and intends to employ local workers.
 - Approving the application would enable the applicant to remain and work in their local area.
 - The applicant intends to produce all advertisements and literature relating to the development bilingually.
 - Welsh names with local characteristics will be used for the industrial units.
 - The applicant has received enquiries from a number of local businesses interested in renting the finished units.
 - The development will promote other local businesses by attracting business and increasing commerce in the area.
- 5.13 A response was received from the Language Unit and the Community Council welcoming the development in general, but expressing concern that no reference has been made to the language use of the businesses that had made enquiries. In mentioning the intention to employ local workers, the applicant does not mention any conditions in relation to language skills. The applicant is encouraged to contact the Welsh Language Commissioner to seek information about the “Cynnig Cymraeg”. Observations were also received objecting to the application due to insufficient evidence to justify that the development will increase the use of the Welsh language.
- 5.14 In response to these points, an explanation was received from the applicant noting that there were no tenants for the units as yet, and until planning permission was granted, the applicant was unable to advertise the units. In order to promote the Welsh language, the applicant has noted his willingness to collaborate with the Language Unit and create a transfer file for the units which will commit the tenants to the Cynnig Cymraeg.
- 5.15 Ultimately it is believed, by boosting the local economy and offering an opportunity to retain existing jobs and create new suitable jobs for local people, that the development could be positive for the situation of the Welsh language locally and the application is therefore consistent with the aims of policy PS 1.

Archaeological Matters

- 5.16 The Bryn Cegin site has been the subject of extensive archaeological excavation which has been identified as a location of historic importance, which offers a snapshot of life in the final prehistoric years in Wales (Iron Age), and the relationship with the Roman Occupation. Gwynedd Archaeological Planning Service (GCAG) confirmed that the area of the proposed development was fully excavated when the business park was established, and significant multi-period archaeology was noted. Although there is the potential for remains to have survived in small pockets of undisturbed land (including along the western boundary of this plot), it is not

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considered that this application has any archaeological implications as the land to all intents and purposes has been sterilised by the previous excavation. It is therefore believed that the plan may proceed in accordance with the requirements of policy AT 4 of the LDP.

Infrastructure and Sustainability Matters

- 5.17 Bryn Cegin has been earmarked as a sustainable location for business through the process of adopting the Local Development Plan and it has been developed with plots served by appropriate utilities for the expected businesses. Welsh Water confirmed that there is adequate capacity in the local sewerage system to meet the requirements of the development and that a connection to the water supply can be ensured. Sustainable drainage systems (SuDS) are required to control surface water for every new development of more than 100m² in floor area and an application will need to be submitted to the SuDS Approval Body for approval before the construction work commences.
- 5.18 The Design and Access statement submitted with the application notes that it is intended to develop the site in a sustainable manner. It is intended to use high grade insulation materials for the new building, and therefore the units will need minimal energy for heating. It is also proposed to use low emission argon filled double glazing to further improve the building's thermal performance. The proposed new units will fully comply with the existing regulatory standards for buildings and will use renewable energy technology to further reduce the environmental impact.
- 5.19 Provided that the statutory requirements regarding sustainable drainage are followed, it is believed that this development will comply with the requirements of policies PCYFF 5, PS 5 and PS 6 as they relate to ensuring that new developments will not have a harmful impact on the wider environment and that they are resilient against likely environmental changes in the future.

6. Conclusions:

- 6.1 As a result of the above assessment, it is not considered that the proposal is contrary to any material planning policy within the LDP, and the proposed development is believed to be appropriate for the site and is likely to be of strategic importance to the county as a starting point for business developments on the site. Consideration was given to all material planning issues and it is not believed that the proposal is likely to cause any unacceptable adverse impacts to nearby residents or the community in general.

7. Recommendation:

- 7.1 To approve the application subject to relevant planning conditions in relation to:

1. Time
2. Compliance with the plans
3. Materials all to be agreed
4. Permitted use of Units for any purposes within Use Class B1, B2 or B8 only
5. Landscaping / biodiversity enhancements condition.
6. Opening Hours: 06:30 to 18:00 Monday to Friday, 06:30 to 17:00 Saturday and 08:00 to 16:00 Sunday / Bank Holidays
7. The details of any external equipment installed on the building must be submitted.

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8. No unit should be brought into use until the connection with the public sewer has been completed.
9. Act in accordance with the Construction Transport Management Plan submitted
10. Welsh Water Condition
11. Ensure Welsh / Bilingual signs

Notes

1. Welsh Water
2. Land Drainage Unit
3. Language Unit

25/03/24

DERBYN - Adran Cynllunio Cynghor Gwynedd

Cynllun Diwygiedig
Amended Plan



Peidiwch â chynwys mesuririau graffigol oddi ar y dylunio hwn.
Os yn arddu - golyddwch.
Do not scale from this drawing.
If in doubt - ask.

Yn eiddo dylunio hwn yn hyspysu Penrith Russell Hughes ac ei
chreuwr ei gyswllt neu ei aglybwrchys heb ganiatáu.
This drawing is the copyright of Russell Hughes architects and
must not be copied or reproduced without permission.

Cynllun - job
**PLOT 4C GLANCEGIN
BANGOR**
Dylunio - Drawing
LAYOUT PLAN

Rhyd Dylunio - Drawing No.
2959:21:3A
Graffig - Scale
1:1250 A2
Dylunio - Date
Nov 2021

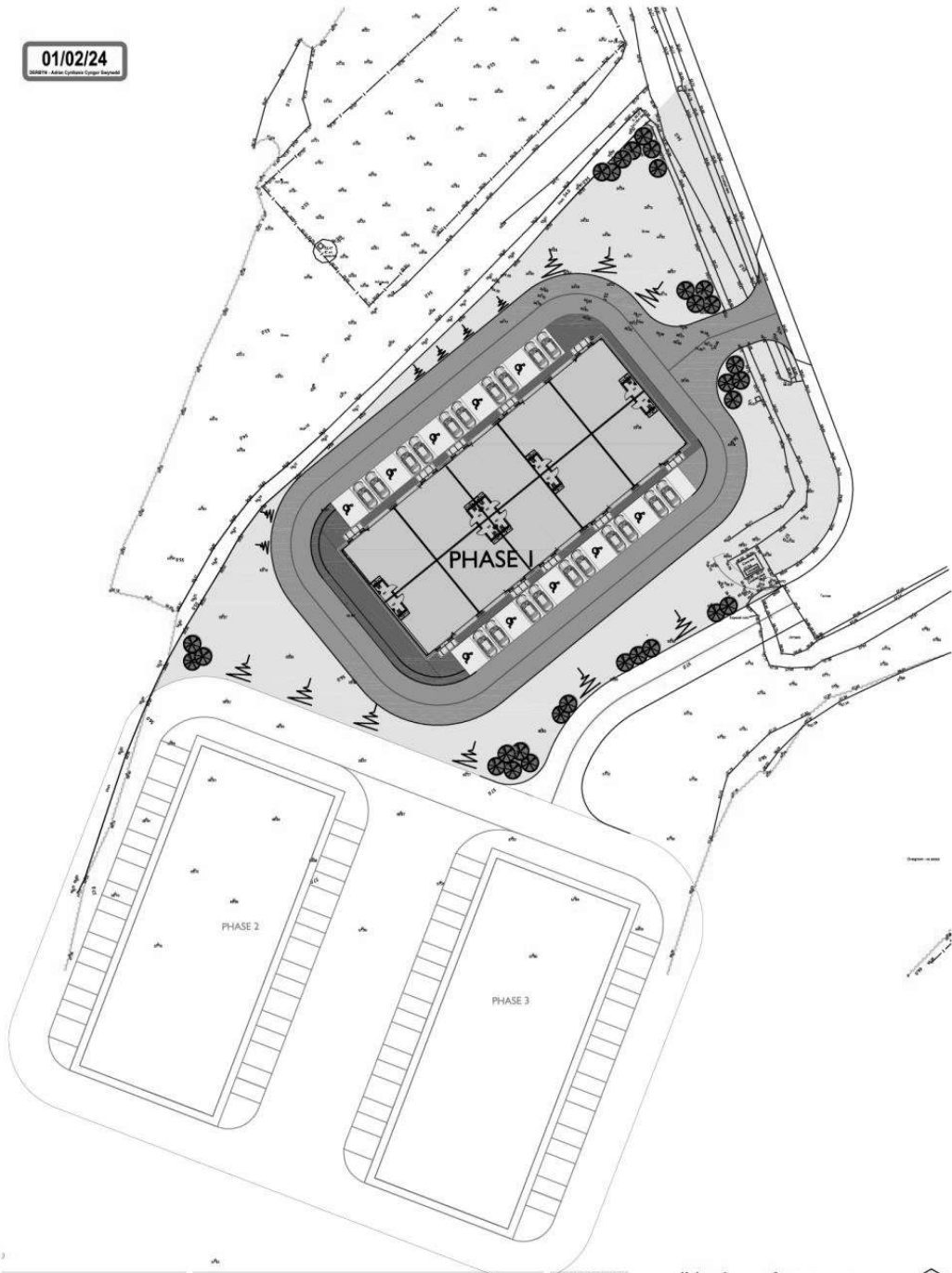
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01/02/24



Pedwch a chyrryd mesurau: graffu oddi ar y dyfyniad
Os yn amau - gofynnwch
Do not scale from this drawing
If in doubt - ask
Plan'r dyfyniad hwn yn hyspysu Penrthi Russell-Hughes ac ni
chysgwir ei gynnwys yn ei gynnwys heb ganiatâd.
This drawing is the copyright of Russell-Hughes architects and
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Cynllun - Job
**PROPOSED ERECTION OF 10 INDUSTRIAL UNITS,
PLOT 4, PARC BRYN CEFNI, BANGOR**
Dylunio - Drawing
PROPOSED SITE PLAN

Ref Dyfyniad - Drawing No.
2959:22:3a
Creadu - Issue
A3 1:500
Dyddiad - Date
November 2023

russell-hughes cyf
pennell/architects

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01/02/24
DERBYN - Arian Cynllunio Cynog Gwynedd

El Sub Sta

FFL 55.825

GENERAL:

01 ALL LEVELS IN METRES UNLESS NOTED OTHERWISE OR DRAWING

02 THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT ENGINEERS AND ARCHITECTS DRAWINGS AND RELEVANT SPECIFICATION CLAUSES

03 PLEASE REFER TO ARCHITECTS DRAWINGS FOR FINAL BUILDING LOCATION

04 ALL PROPOSED LEVELS ARE TO BE CONFIRMED BY THE ARCHITECT

LEGEND

- PROPOSED SITE BOUNDARY
- PROPOSED CONCRETE PATH AREA
- PROPOSED GRASSED AREA
- PROPOSED PARKING AREA
- PROPOSED TARMAC ROAD AREA
- PROPOSED ROOF AREA

PROPOSED AREAS		
SURFACE	TOTAL AREA	CUMULATIVE AREA
BASIN	354.331 m ²	1.000
GRASSED	420.343 m ²	0.350
PARKING	521.927 m ²	1.000
TARMAC ROAD & FOOTPATH	1,344.327 m ²	1.000
ROOF	1107.631 m ²	1.000
TOTAL	3,648.559 m ²	3,545.075 m ²

NO	DATE	DESCRIPTION	BY	ST	ST
REV	DATE	DESCRIPTION	BY	CHK	APP

DRAWING STATUS:

PRELIMINARY

CLIENT: POOLE GROUP

ARCHITECT: RUSSEL HUGHES CYF

PROJECT: BRYN CEGIN, IND. EST. LLANDYGAI

TITLE: PROPOSED AREAS PLAN

STATUS: S2	PROJECT NO: 258	004	REV: P01
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SCALE: 1:500	DRAWN: BT	CHECKED: KB	APPROVED: BT	DATE: JANUARY 2024
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MON CIVILS
LIMITED

FRONT ELEVATION

REAR ELEVATION

Pattern: a diverse, non-homogeneous set of individuals
 Organisms: polytypic
 Pattern: non-hierarchical
 Ecosystem: web

When different individuals have different relationships to a common resource, the community is not patchy

It is important to be specific about the type of resource and the way it is used by the individuals within the community

[illegible]

Project title
**FLOT 4C GLIAN CEGIN,
BANGOR**
Client's Drawing
AS PROPOSED

2959-22-5
 Available On:
 AI 1:100
 Product On:
 NOV 2023

russell.hughes@ox

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PLANNING COMMITTEE	DATE: 22/04/2024
REPORT OF THE ASSISTANT HEAD OF DEPARTMENT	

Number: 3

Application Number: C23/0936/14/LL

Date Registered: 12/12/2023

Application Type: Full

Community: Caernarfon

Ward: Peblig

Proposal: Full application for the erection of a new workshop/office building, a workshop/welding building and a vehicle wash unit together with a private fuel storage tank and other ancillary spaces

Location: Caernarfon Abbatoir, Cibyn Industrial Estate, Caernarfon, Gwynedd, LL55 2BD

Summary of the Recommendation: TO APPROVE WITH CONDITIONS

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REPORT OF THE ASSISTANT HEAD OF DEPARTMENT	

1 Description:

1.1 Full application for the erection of a new workshop/office building, a workshop/welding building and a vehicle wash unit together with a private fuel storage tank and other ancillary spaces The proposal includes the following elements:

- Erection of Workshop and Office - 1680m² - 78m by 23.5m and 10m high
- Workshop and Welding Unit - 363m² - 22m by 16.5m and 10m high
- Vehicle Wash Unit - 160m² - 20m by 10m and 7.8m high
- External Storage Area - 500m²
- 15 HGV parking spaces
- 40 parking spaces including 3 disabled and 8 EV charging points.
- Bike storage area

It is proposed to finish the buildings with steel sheets of a colour to be agreed.

1.2 The site is located on Lôn Cae Darbi (unclassified road) on the east periphery of Cibyn Industrial Estate and is within the Caernarfon development boundary and employment site to be protected as designated in the Joint Local Development Plan. The site has been used as an abattoir until recently and the buildings have by now been demolished under advance notice C22/0431/14/HD. Rubble waste and skips remain on the site following the demolition and the vegetation around the site has been cut and removed. The proposal involves erecting the buildings that are subject to this application to be used for servicing and repairing commercial vehicles.

1.3 The following documents have been submitted as a part of the application:

- Construction Traffic Management and Environmental Management Plan 2023
- Design and Access Statement October 2023
- Energy and Sustainability Statement October 2023
- Pre-application Consultation Report November 2023
- Planning Statement October 2023
- Welsh Language Statement October 2023
- Flood Risk Assessment and Drainage Statement 26/6/2022
- Preliminary Ecological Appraisal and Preliminary Roost Assessment 1/7/2022
- Geo-Environmental Appraisal 18/5/2022
- Visual Appraisal and Landscape Strategy April 2023

2. Relevant Policies:

2.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 and paragraph 2.1.2 of Planning Policy Wales emphasise that planning decisions should be in accordance with the Development Plan, unless material considerations indicate otherwise. Planning considerations include National Planning Policy and the Local Development Plan.

2.2 The Well-being of Future Generations Act (Wales) 2015 places a duty on the Council to take reasonable steps in exercising its functions to meet the 7 well-being goals within the Act. This report has been prepared in consideration of the Council's duty and the 'sustainable development principle', as set out in the 2015 Act. In reaching the recommendation, the Council has sought to

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ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs.

2.3 **Anglesey and Gwynedd Joint Local Development Plan 2011-26, adopted 31 July 2017**

PS 1: The Welsh Language and Culture

TRA 2: Parking Standards

TRA 4: Managing Transport Impacts

PS 5: Sustainable Development

PS 6: Alleviating and Adapting to the Effects of Climate Change

PCYFF 1: Development Boundaries

PCYFF 2: Development Criteria

PCYFF 3: Design and Place Shaping

PCYFF 4: Design and Landscaping

PCYFF 5: Carbon Management

PCYFF 6: Water Conservation

PS 13: Providing Opportunities for a Prosperous Economy

CYF 1: Safeguarding, Allocating and Reserving Land and Units for Employment Use

PS 19: Conserving and Where Appropriate Enhancing the Natural Environment

Supplementary Planning Guidance - Maintaining and Creating Distinctive and Sustainable Communities (2019)

2.4 **National Policies:**

Future Wales: The National Plan 2040

Planning Policy Wales (Edition 11 - February 2021)

TAN 5: Planning and Nature Conservation

TAN 12: Design

TAN 23: Economic Development

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3. Relevant Planning History:

3.1 C07A/0831/14/R3 - Erection of green coloured palisade fencing and renewal of existing fencing - Approved - 03-01-2008

C10A/0059/14/11 - Full application to extend the existing abattoir, including extensions, erection of a two-storey building for offices, erection of a storage unit together with retention of the existing stock and skin sheds - Approved - 14-05-2010

4. Consultations:

Community/Town Council: Following a meeting of the Town Council's Planning Committee on 6 March 2024, the committee's decision is as follows

Support the application provided that it complies with Welsh Water requirements (Unanimous)

Transportation Unit: I refer to the above application and I confirm that the transportation unit does not have any objection to the proposal.

Natural Resources Wales: We have concerns with the application as submitted. However, we are satisfied that these concerns can be overcome by attaching the following condition to any planning permission granted:

Condition - Land Contamination

Please note, without the inclusion of this condition we would object to this planning application. Further details are provided below.

Land Contamination

We have reviewed the Geo-Environmental Appraisal report (Geo-Environmental Appraisal – Gwynedd Skip Hire. GroundTech Consulting, Report Reference: GRO-22013-3516, May 2022) submitted in support of the planning application. The report details the site investigation completed on the two parts of the site. Although no groundwater was encountered the soil samples indicate low concentration of contamination. It was concluded that the risk to controlled waters will be low, which we accept. However, we advise that you attach the following condition to any planning permission granted.

Condition – Previously Unidentified Contamination

If, during development, contamination not previously identified is found to be present at the site then no further development (unless otherwise agreed in writing with the Local Planning Authority) shall

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be carried out until a remediation strategy detailing how this unsuspected contamination shall be dealt with has been submitted to and approved in writing by the Local Planning Authority. The remediation strategy shall be carried out as approved.

Reason: To ensure the risks associated with previously unsuspected contamination at the site are dealt with through a remediation strategy, to minimise the risk to both future users of the land and neighbouring land, and to ensure that the development can be carried out safely without unacceptable risks.

Protected Species

We note that the bat report submitted in support of the above application (Preliminary Ecological Appraisal and Preliminary Roost Assessment, Arbtech, 01/07/2022) has identified that bats were not using the application site. We therefore have no further species comments to make on the application as submitted.

Other Matters

Our comments above only relate specifically to matters included on our checklist, Development Planning Advisory Service: Consultation Topics (September 2018), which is published on our website. We have not considered potential effects on other matters and do not rule out the potential for the proposed development to affect other interests.

We advise the applicant that, in addition to planning permission, it is their responsibility to ensure they secure all other permits/consents/licences relevant to their development. Please refer to our website for further details.

Advice for the Developer

Waste Management:

Developers should ensure that all contaminated materials are adequately characterised both chemically and physically, and that the permitting status of any proposed on-site operations are clear. If in doubt, Natural Resources Wales should be contacted for advice at an early stage to avoid any delays.

The treatment and disposal of contaminated soils and groundwater is regulated by waste legislation and requires an environmental permit. Environmental Permits from NRW may be required (during construction and operation) and we recommend early consultation with the relevant NRW permitting teams to ensure all permits are in place prior to commencement of development.

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Excavated materials that are recovered via a treatment operation can be re-used on-site under the CL:AIRE Definition of Waste: Development Industry Code of Practice. This voluntary Code of Practice provides a framework for determining whether or not excavated material arising from site during remediation and/or land development works are waste.

The demolition of the building will generate what is termed as controlled waste. This waste should only be disposed of to sites which can prove that they are registered as exempt, or licensed under the Environmental Permitting Regulations. There is a legal requirement (Duty of Care requirements of Section 34 the Environmental Protection Act 1990) on the site owner, demolition contractor etc to ensure that the re-use or disposal of this waste is

appropriate and complies with the Environmental Permitting Regulations. The Duty of Care requirements also mean that appropriate Waste Transfer Notes are produced and kept. Inappropriate disposal will result in enforcement action being taken against all those involved in the disposal of the waste.

It would be appreciated when the demolition begins if any demolition notice could be forwarded to Senior Environment Officer Euryr Roberts at Euryr.Roberts@naturalresourceswales.gov.uk, or at NRW's office at Maes y Ffynnon, Bangor, LL57 2DW.

Pollution Prevention:

The Proposed Drainage Layout plan, ref: 220208 XX EX C 000, notes that "it is assumed that the vehicle wash will operate using a water recycling system." Drainage from the vehicle wash must not connect to the surface water drainage system for the site. If any drainage system is required, drainage from this area must connect to foul sewer.

During demolition and construction, to prevent any pollution due to silty run-off from the site, we refer to GPP 5 "Works and maintenance in or near water" at [gpp-5-works-and-maintenance-in-or-near-water.pdf](https://www.netregs.org.uk/gpp-5-works-and-maintenance-in-or-near-water.pdf) (netregs.org.uk). Any dewatering water etc should receive settlement e.g. via a Siltbuster type system before discharge off site and silt fencing used where necessary. We also refer to the .GOV dewatering position statement regarding pumping out excavations etc. Temporary dewatering from excavations to surface water: RPS 261 - GOV.UK (www.gov.uk)

For the garage site, it's noted the intention to use a SuDS system to deal with surface water drainage and that there will be parking for 40 cars and 15 HGVs. Given the number of vehicles involved, we advise that a fuel interceptor be installed on the surface water line prior to drainage to the flow balancing system. We refer the applicant to GPP 3 "Use and design of oil separators in surface water drainage

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systems” at [guidance-for-pollution-prevention-3-2022-update-v2.pdf](https://netregs.org.uk/guidance-for-pollution-prevention-3-2022-update-v2.pdf) (netregs.org.uk)

We advise the future operators of the site to colour code all drains on site i.e. blue mark on all surface water manholes and red mark on all foul manholes. This and a site drainage plan would be useful information for the emergency services as part of a site emergency plan.

All fuel, oil and chemicals used on site should be stored away in a locked store which is banded to 110% capacity of the total volume stored. – this applies to both the demolition and operational phase of the development.

An oil spill kit should be available on site for dealing with any oil spill. All staff on site should be aware of its location and trained in its use. – this applies to both the demolition and operational phase of the development.

Dŵr Cymru:

The site is crossed by a 100mm public watermain with the approximate position being marked on the attached plan. In accordance with the Water Industry Act 1991, Dŵr Cymru Welsh Water requires access to its apparatus at all times in order to carry out maintenance and repairs, and as such would require an easement of 3m either side of the centreline. Having reviewed the proposed site plan, it appears that the fuel and adblue storage would be above and/or within the easement of the public watermain. Our strong recommendation is that the site layout takes into account the location of the public watermain crossing the site. Alternatively, it may be possible to divert the watermain if the developer applies under Section 185 of the Water Industry Act and we request that they contact us to discuss and consider possible solutions.

In the first instance, we would advise of the need to accurately locate the asset on site as our record plans are a general guidance only and should not be relied upon in the event of excavations or other works made in the vicinity of the asset. We would need to carry out the survey work and would suggest that the developer contact our colleagues at PlanandProtect@dwrcymru.com for a quotation. We enclose our Conditions for Development near Watermains and advise that the developer must contact Dŵr Cymru Welsh Water before any development commences on site.

Turning towards drainage matters, we have considered the impact of foul flows generated by the proposed development and concluded that flows can be accommodated within the public sewerage system. We note from the Drainage Strategy that it is proposed to communicate foul flows from the proposed development with the public foul sewer at SH49629503. However, we advise that the

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flows should be connected to the foul sewer at manhole SH49628503 located in the road to the west of the site.

The proposed development may be subject to Schedule 3 of the Flood and Water Management Act 2010. The development therefore may require approval of Sustainable Drainage Systems (SuDS) features, in accordance with national standards, and is strongly recommended that the developer engage in pre-application consultation with the Local Authority, as the relevant SuDS Approval Body (SAB), in relation to their proposals for SuDS features. Please note, Dŵr Cymru Welsh Water is a statutory consultee to the SAB application process and will provide comments to any SuDS proposals by response to SAB consultation.

Notwithstanding this, and in light of the above, we would kindly request that if you are minded to grant Planning Consent for the above development that the following Conditions and Advisory Notes are included within the consent to ensure no detriment to existing residents or the environment and to Dŵr Cymru Welsh Water's assets.

Conditions

No development shall take place until details of a scheme to either protect the structural condition or divert the water main crossing the site has been submitted to and approved in writing by the local planning authority. The scheme shall include a detailed design outlining the measures taken to secure and protect the structural condition and ongoing access of the water main. No other development pursuant to this permission shall be carried out until the approved protection measures or diversion scheme have been implemented and completed. The approved scheme shall be adhered to throughout the lifetime of the development and the protection measures shall be retained in perpetuity.

Reason: To protect the integrity of the public watermain(s) and avoid damage thereto.

No development shall commence until a foul water drainage scheme for the site has been submitted to and approved in writing by the local planning authority. The scheme shall provide for the disposal of foul water flows and thereafter implemented in accordance with the approved details prior to the occupation of the development.

Reason: To prevent hydraulic overloading of the public sewerage system, to protect the health and safety of existing residents and ensure no pollution of or detriment to the environment.

No surface water and/or land drainage shall be allowed to connect directly or indirectly with the public sewerage network.

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Reason: To prevent hydraulic overloading of the public sewerage system, to protect the health and safety of existing residents and ensure no pollution of or detriment to the environment.

Advisory Notes

The applicant may need to apply to Dŵr Cymru / Welsh Water for any connection to the public sewer under S106 of the Water industry Act 1991. If the connection to the public sewer network is either via a lateral drain (i.e. a drain which extends beyond the connecting property boundary) or via a new sewer (i.e. serves more than one property), it is now a mandatory requirement to first enter into a Section 104 Adoption Agreement (Water Industry Act 1991). The design of the sewers and lateral drains must also conform to the Welsh Ministers Standards for Gravity Foul Sewers and Lateral Drains, and conform with the publication "Sewers for Adoption"- 7th Edition. Further information can be obtained via the Developer Services pages of www.dwrcymru.com.

The applicant is also advised that some public sewers and lateral drains may not be recorded on our maps of public sewers because they were originally privately owned and were transferred into public ownership by nature of the Water Industry (Schemes for Adoption of Private Sewers) Regulations 2011. The presence of such assets may affect the proposal. In order to assist us in dealing with the proposal the applicant may contact Dŵr Cymru Welsh Water to establish the location and status of the apparatus. Under the Water Industry Act 1991 Dŵr Cymru Welsh Water has rights of access to its apparatus at all times.

The planning permission hereby granted does not extend any rights to carry out any works to the public sewerage or water supply systems without first having obtained the necessary permissions required by the Water industries Act 1991. Any alterations to existing premises resulting in the creation of additional premises or merging of existing premises must also be constructed so that each is separately connected to the Company's water main and can be separately metered. Please contact our new connections team on 0800 917 2652 for further information on water and sewerage connections.

If the development will give rise to a new discharge (or alter an existing discharge) of trade effluent, directly or indirectly to the public sewerage system, then a Discharge Consent under Section 118 of the Water Industry Act 1991 is required from Dŵr Cymru / Welsh Water. Please note that the issuing of a Discharge Consent is independent of the planning process and a consent may be refused although planning permission is granted.

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As of 7th January 2019, this proposed development may be subject to Schedule 3 of the Flood and Water Management Act 2010. The development may therefore require approval of Sustainable Drainage Systems (SuDS) features, from the determining SuDS Approval Body (SAB), in accordance with the 'Statutory standards for sustainable drainage systems – designing, constructing, operating and maintaining surface water drainage systems'.

In accordance with Planning Policy Wales (Edition 11) and Technical Advice Note 12 (Design), the applicant is advised to take a sustainable approach in considering water supply in new development proposals, including utilising approaches that improve water efficiency and reduce water consumption. We would recommend that the applicant liaises with the relevant Local Authority Building Control department to discuss their water efficiency requirements.

Public Protection Unit:

Having read the Geo-Environmental Appraisal report (ref: GRO-22013-3516) we agree with the findings. As the site will be covered with a hard floor this will remove the pollutant route for the site's final users.

Nevertheless, we agree with the observations of Natural Resources Wales and therefore the following statement made by them is also relevant to the Public Protection Service:

If, during development, contamination not previously identified is found to be present at the site then no further development (unless otherwise agreed in writing with the Local Planning Authority) shall be carried out until a remediation strategy detailing how this unsuspected contamination shall be dealt with has been submitted to and approved in writing by the Local Planning Authority. The remediation strategy shall be carried out as approved.

Reason: To ensure the risks associated with previously unsuspected contamination at the site are dealt with through a remediation strategy, to minimise the risk to both future users of the land and neighbouring land, and to ensure that the development can be carried out safely without unacceptable risks.

Biodiversity Unit

The applicant has provided an ecological report by Arbttec dated 1 July 2022:

Preliminary Ecological Appraisal and Preliminary Roost Assessment

The proposal is to demolish buildings. According to the ecological report there are no protected species (bats or birds) roosting or

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nesting in the buildings.

The construction work is likely to cause loss of shrubs. The development must adhere to the recommendations of the ecological report.

The building should not be Constructed within 8 metres of a hedge on the southern boundary of the site. I wish to see plans that indicate this.

The Welsh Assembly
Government Transportation
Unit:

I refer to your consultation of 26/02/2024 regarding the above planning application and advise that the Welsh Government as highway authority for the A487 trunk road does not issue a direction in respect of this application.

Public Consultation:

A notice was posted on the site and nearby residents were notified. The advertising period has expired and no observations have been received.

5. Assessment of the material planning considerations:

The principle of the development

- 5.1 The proposal is for the erection of a new workshop/office building, a workshop/welding building and a vehicle wash unit together with a private fuel storage tank and other ancillary spaces on a site located within the Cibyn Industrial Estate, Caernarfon. The site is within the Caernarfon development boundary and within an area that has been designated an Employment Area to be protected in the Local Development Plan.
- 5.2 Policy PCYFF 1 approves proposals within Development Boundaries in accordance with the other policies and proposals in the Plan, national planning policies and other material planning considerations. Policies PS13 and CYF 1 of the LDP state that land and units on existing employment sites, including this site, will be safeguarded for B1, B2 and B8 employment/business purposes. The proposal coincides with the specific safeguarded use classes therefore the principle of the proposal complies with policies PCYFF1, PS13 and CYF 1.

Visual amenities

- 5.3 The proposal involves the erection of a workshop and office building, a workshop and welding building and a vehicle wash unit. These buildings are substantial, with two of them measuring 10m high and the other 7.8m high. The main workshop building and the vehicle wash unit will be located to the rear of the site backing onto the bypass, while the workshop and welding building will be located near the site access. The remainder of the site would include an external storage area, a fuel storage area and HGV and general parking spaces including disabled parking spaces, EV charging points and a bike storage area.

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- 5.4 Existing and proposed cross-section plans have been submitted with the application demonstrating the difference between the former abattoir building prior to its demolition and the buildings subject to this application. This plan shows that the general height of the main building which backs onto the bypass coincides with that of the previous building, it also shows that the ridge of the workshop and welding building would appear to be taller than the main building from the direction of the bypass, as the land levels slope downwards across the site towards the bypass.
- 5.5 A Landscape Visual Impact Assessment has also been submitted as part of the application. This assessment acknowledges the application's site on the periphery of the Industrial Estate and notes the substantial abattoir building that was on the site until recently. The assessment states that the proposed development would be visible from four viewpoints within the industrial context of the Cibyn Industrial Estate and the tall industrial buildings such as Beacon Climbing Centre and Phytovation buildings, which, among others, are large scale buildings that are also prominent features within viewpoints and the landscape. On this basis, the assessment states that the proposed development would not be visible as a new feature within the landscape.
- 5.6 It is proposed to landscape around the site with the following elements:
- Proposed mix of native hedges
 - Proposed meadow grass
 - Proposed native trees
 - Proposed mix of native hedges
 - Existing verge with recently planted sapling.
- 5.7 It is acknowledged that the proposal involves constructing substantial buildings on the site, and this site is now visible from the Caernarfon bypass. It is also acknowledged that the site is located within an existing Industrial Estate and forms part of a designation for safeguarding B1, B2 and B8 employment uses. The buildings associated with these uses are of a substantial nature. The abattoir that was present on this site has now been demolished and the cross-section plans confirm that the visual impact of the proposal will be similar to what previously existed on the site. It is proposed to provide an external storage area on the site, and it is considered that the height of what will be stored here can be restricted to 4m by means of a planning condition. It is noted that most of the trees and hedges that surrounded the site have now been cut, but it is proposed to landscape the site to compensate for the vegetation that has been removed.
- 5.8 Based on the above, it is not considered that the proposal in question would have a significantly detrimental visual impact due to its location within the Industrial Estate and any views of the site would be within the context of other substantial buildings within the estate. It is therefore considered that the proposal along with the landscaping is acceptable and complies with the requirements of policies PCYFF 2,3 and 4 of the LDP.

General and residential amenities

- 5.9 As noted above, the site is located within the Cibyn Industrial Estate on the outskirts of the town of Caernarfon. The nearest residential units are located approximately 170m (Glangwna Holiday Park on the opposite side of the bypass), 230m (Bodrual Farm on the opposite side of the bypass, and property located within the Industrial Estate) and 450m (Bro Seiont estate, Caernarfon) from the site.

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- 5.10 The demolition of the buildings on the site was the subject of advance notice C22/0431/14/HD and it was confirmed that no prior consent was required. This application included details of the demolition work and dust management measures. The buildings that were present on the site have now been demolished and the rubble mounds are stored on the site. Natural Resources Wales and the Public Protection Unit have noted the findings of the Geo-Environmental Appraisal submitted as part of this application in terms of land pollution and have proposed a condition to ensure that any further potential contamination identified on the site should be treated appropriately.
- 5.11 The proposal involves erecting substantial buildings on the site that will be used to service and repair commercial vehicles. As already noted, the site is located within an existing Industrial Estate that is safeguarded for B1, B2 and B8 uses. These uses can cause disruption for residential houses due to noise or pollution and therefore the designations have been located in areas where any impact on nearby residents is at a minimum.
- 5.12 The site is located at least 170m away from any residential property, and the nearest houses are located either on the Industrial Estate, or on the opposite side of the bypass which runs past the outskirts of the site. On this basis, and that the site is located on an existing Industrial Estate, adjacent to other industrial units that are safeguard for B1, B2 and B8 uses, it is not considered that the proposal is likely to have a significantly detrimental impact on any nearby resident. The proposal therefore complies with the requirements of policy PCYFF 2 of the LDP.

Transport and access matters

- 5.13 The proposal involves erecting substantial buildings on the site that will be used to service and repair commercial vehicles. In addition to erecting buildings to operate the business on the site, it is proposed to provide 15 HGV parking spaces, 40 general parking spaces including 3 disabled bays and 8 EV charging points and a bike storage area. A Construction Traffic Management and Environmental Management Plan has been submitted with the application. It is proposed to use the site's existing accesses and the site plan shows a HGV turning circle within the site. The Transportation Unit along with the Welsh Parliament's Transportation Department have confirmed there is no objection to the proposal. The proposal therefore complies with the requirements of policies TRA 2 and TRA 4.

Biodiversity matters

- 5.14 A Preliminary Ecological and Roost Assessment Report was submitted as part of the application. The report refers to the buildings that have already been demolished as well as the site itself. The report confirms there were no protected species present on the site, and there is low potential of other species due to the site's urban location and the nearby bypass. The response of the Biodiversity Unit confirms it is satisfied with the contents of the report. It is noted that their responses refer to the demolition work that has already been completed, it also refers to the need to locate any building 8m from the hedge on the southern boundary of the site. This hedge has already been removed during the demolition work, but it is proposed to landscape the site and it is appropriate to mitigate the lost vegetation by imposing a planning condition to ensure that the landscaping plan is completed.
- 5.15 It is noted that biodiversity improvements such as creating habitats through planting, and installing nesting boxes and bat boxes on the site are proposed in section 4 of the ecological report.

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Although a green infrastructure statement was not formally submitted as part of the application, it is considered possible to assess the proposal and confirm that it complies with the requirements of policy PS19 of the LDP and an update to chapter 6 of Planning Policy Wales which relates to the phased approach based on the information that has been submitted.

Sustainability matters

- 5.16 An Energy and Sustainability Statement and a Flood Risk Assessment and Drainage Statement have been submitted with the application. The site has been developed in the past and the information submitted as part of the application notes it is intended to provide PV panels on the roofs of the buildings, and there will be a sustainable plan for dealing with SuDS on the site. This plan would be subject of a separate consent by a SuDS Approval Body.
- 5.17 Based on the information that has been submitted as part of the application, it is considered that the proposal complies with the requirements of policies PS5, PS6, PCYFF 5 and 6 of the LDP.

Language Matters

- 5.18 In accordance with the requirements of the Supplementary Planning Guidance: Maintaining and Creating Distinctive and Sustainable Communities (SPG), as well as policy PS1 of the LDP, there are some specific types of developments where the proposal must submit a Welsh Language Statement. The thresholds regarding when such a document must be submitted have been set out in Policy PS1 of the Joint LDP and Diagram 5 of the SPG. It is noted on the application form that the proposed development will create 27.5 jobs (25 full-time and 5 part-time) and that the surface area of the proposed buildings on the site is significantly greater than the 1,000m² threshold set by the policy for requiring a Welsh Language Statement. As a result, a Welsh Language Statement would need to be submitted in support of the application.
- 5.19 A Statement has been submitted as part of the application and it states that the development is likely to have a positive impact on the Welsh Language on grounds of providing the following:
- Expand an established business that operates bilingually
 - The applicant employs a number of local Welsh workers at their existing premises
 - The new building will provide employment opportunities for a varied spectrum of workers
 - The company has a Welsh Language Policy in place already that would also apply to the new premises
 - The proposed development is located within a stronghold of the Welsh language
 - The proposal is located in an area where 59% of the population note that they are Welsh-speakers only (2021 Census)

The statement also refers to choosing a Welsh business name with links to the area (Cerbydau Masnachol Cibyn Cyf) and a commitment to providing bilingual signs within the site. It is possible to include a condition on the planning consent to secure this.

- 5.20 The proposal is to provide a business on a site located within the existing Industrial Estate. The Language statement confirms the business' existing commitment to the Language and it is intended to include this site in their commitment. As there is no evidence to show that the development will cause harm to the language and by imposing conditions, it is considered that the proposal complies with policy PS1.

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6. Conclusions:

- 6.1 As a result of the above assessment, it is not considered that the proposal is contrary to any material planning policy within the LDP and the proposed development is appropriate for the site and is likely to be beneficial to the local economy. Consideration was given to all material planning issues and it is not believed that the proposal is likely to cause any unacceptable adverse impacts to nearby residents or the community in general.

7. Recommendation:

7.1 To approve – conditions

1. 5 years
2. In accordance with the plans and documents submitted as part of the application
3. Colour of finish to be agreed
4. PV panel details to be agreed
5. Carry out landscaping in accordance with the plan contained in the Visual Landscape Impact Assessment.
6. The Biodiversity improvements must be completed in accordance with the contents of section 4 of the ecological report
7. Welsh Name
8. Welsh Signs
9. Condition for discovery of unidentified pollutants
10. Welsh Water conditions
11. The equipment/material to be stored in the external storage area to be no higher than 4m.

Notes

Nature Conservation

SUDS

Major applications

Welsh Water Letter

Natural Resources Wales Letter



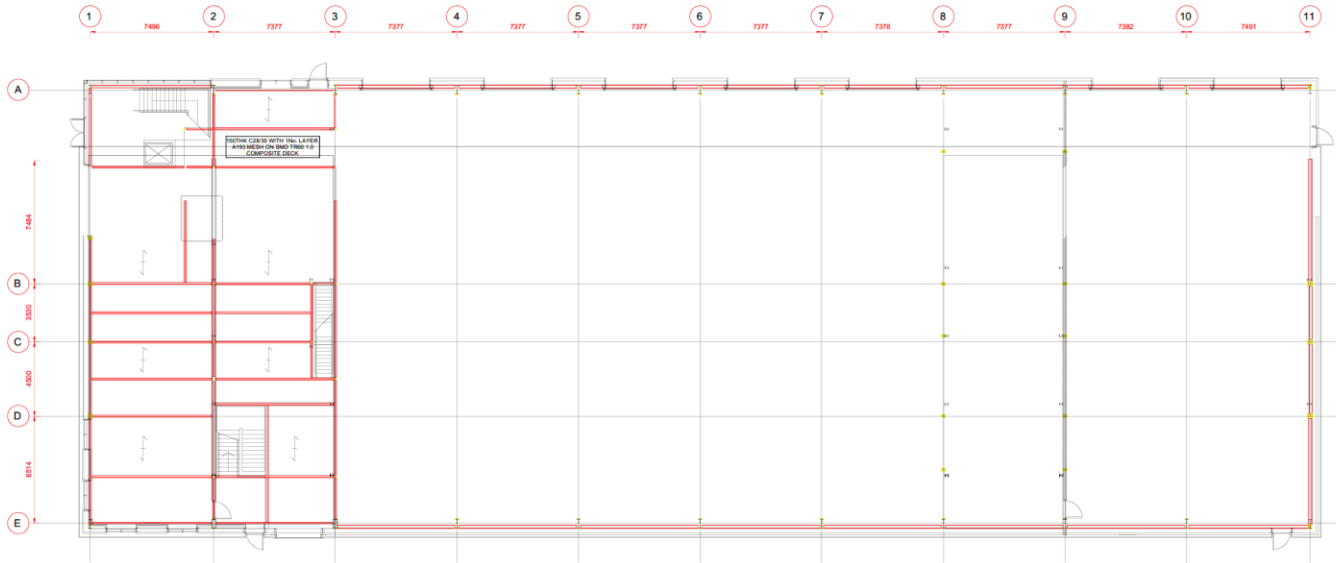




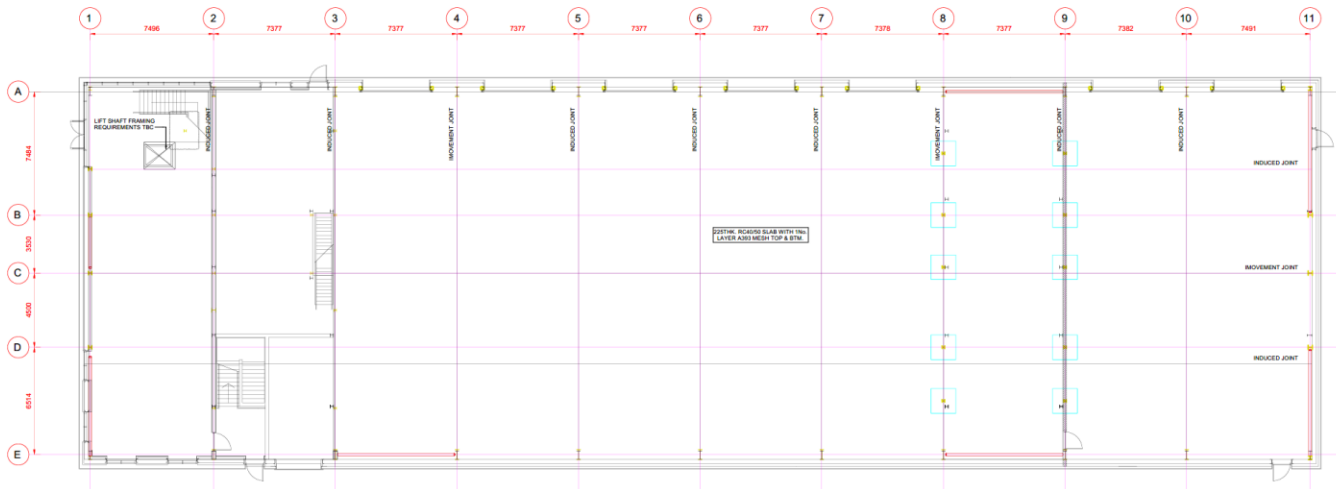
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LL77 79HH

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PROPOSED FIRST FLOOR PLAN MEZZANINE LEVEL



PROPOSED GROUND FLOOR PLAN



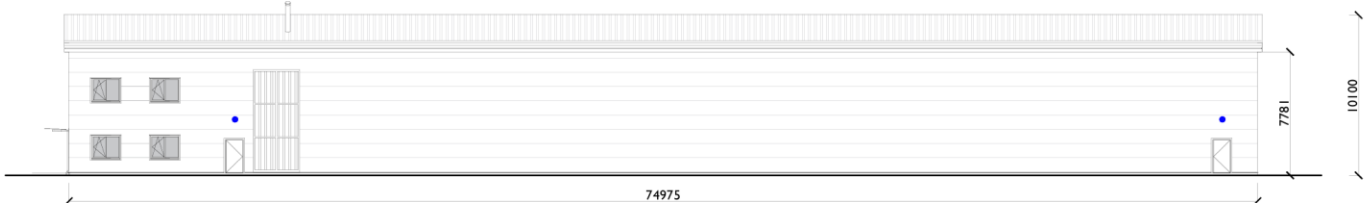
VIVARA PRO BAT TUBE



BEAUMARIS BAT BOX



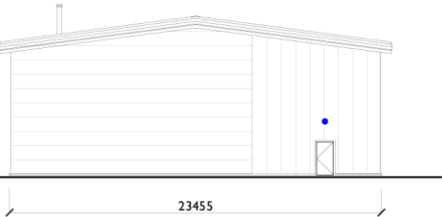
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REAR ELEVATION



SIDE ELEVATION



SIDE ELEVATION

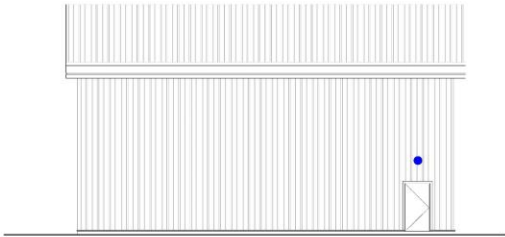
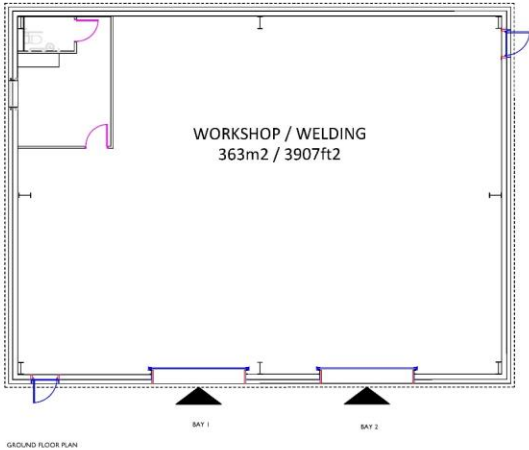


SIDE ELEVATION

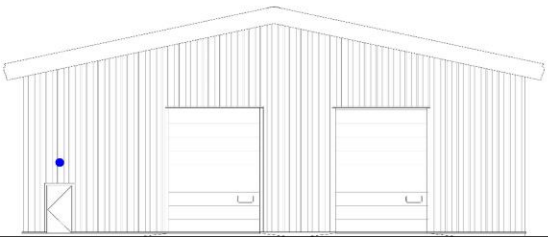
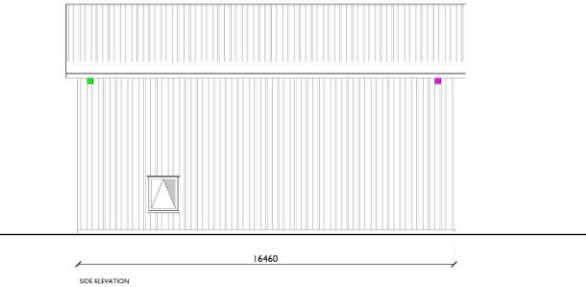
PROFLED ROOF CLADDING
COMPOSITE PROFILE WALL CLADDING
STELL DOORS COLOUR TBC



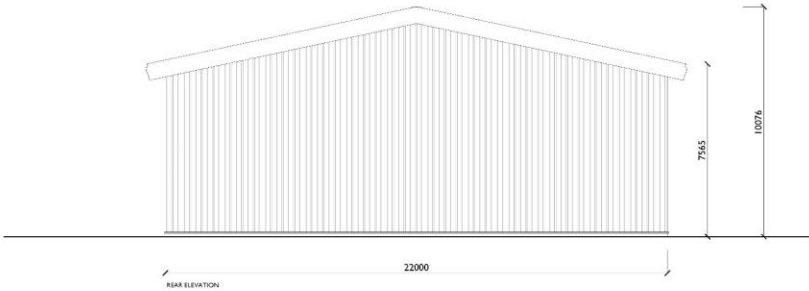
Cynllun Diwygiedig
Amended Plan



PROFILED ROOF CLADDING
COMPOSITE PROFILE WALL CLADDING
STEEL DOORS COLOUR TBC



FRONT ELEVATION



REAR ELEVATION

Notation: 1. All dimensions are given in millimetres and are rounded to the nearest millimetre.
2. All dimensions are given in millimetres.
3. All dimensions are given in millimetres.
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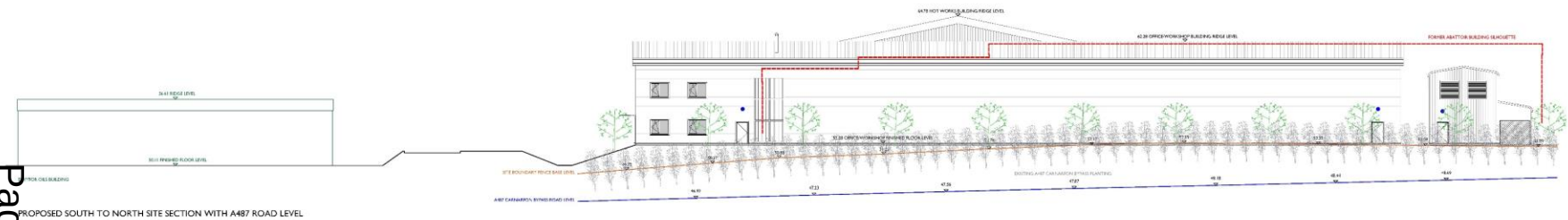
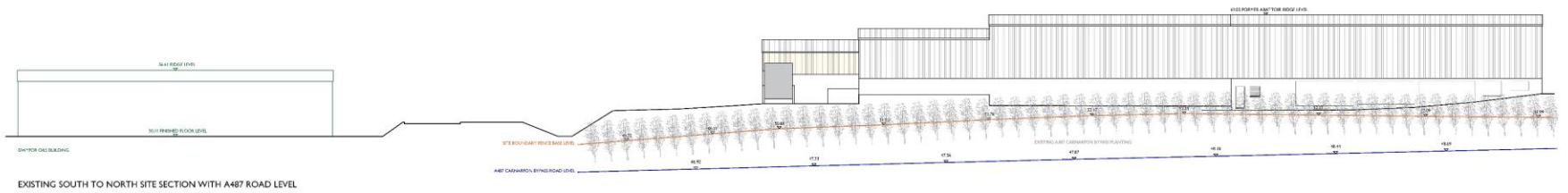
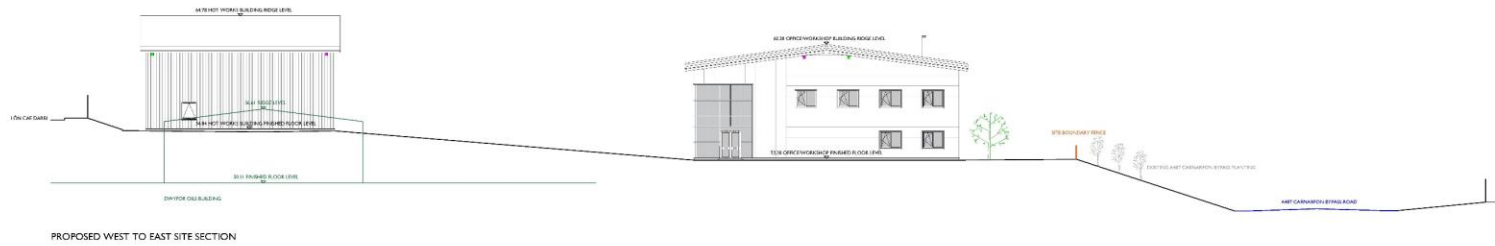
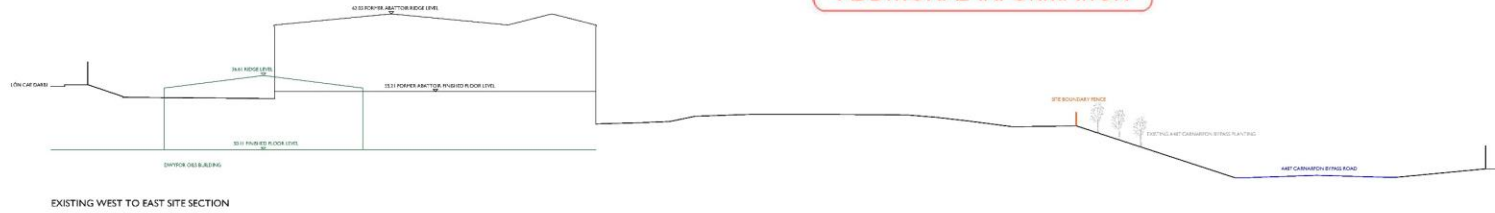
Client: CERBYDAU MASNACHOL CIBYN CYF.
CIBYN INDUSTRIAL ESTATE, CAERNARFON
Proposed: PROPOSED HOT WORKS BUILDING

Reference: 3078.22.P8a
Scale: 1:100 A1
Date: February 2024

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GWYBODAETH YCHWANEGOL ADDITIONAL INFORMATION





Drain

- KEY**
- PROPOSED SHORT CAR PARK (NO HOV ACCESS) - REFER TO DETAIL 1 ON DRAWING 220208-KRD-XX-EX-DR-C-0010
 - PROPOSED SHORT FOOTPATH (WITH ST MEWP ACCESS) - REFER TO DETAIL 2 ON DRAWING 220208-KRD-XX-EX-DR-C-0010
 - PROPOSED REINFORCED CONCRETE SLAB (TRAFFICKED) - REFER TO DETAIL 3 ON DRAWING 220208-KRD-XX-EX-DR-C-0010
 - PROPOSED REINFORCED CONCRETE SLAB (STORAGE YARD) - REFER TO DETAIL 4 ON DRAWING 220208-KRD-XX-EX-DR-C-0010
 - PROPOSED ROAD KERB - REFER TO DETAIL 5 ON DRAWING 220208-KRD-XX-EX-DR-C-0010
 - PROPOSED (SLOTTED) KERB - REFER TO DETAIL 6 ON DRAWING 220208-KRD-XX-EX-DR-C-0010
 - PROPOSED EDGING KERB - REFER TO DETAIL 7 ON DRAWING 220208-KRD-XX-EX-DR-C-0010

- NOTES**
- THIS DRAWING IS PRELIMINARY AND IS SUBJECT TO CHANGE DEPENDING ON FURTHER DEVELOPMENT OF THE S.A. AND SITE LAYOUT.
 - THIS DRAWING IS BASED ON THE CUBE ARCHITECTS SKECH SITE PLAN, DRAWING NO. CPS 21 147 101 S, DATED 18/01/2022.
 - TO BE READ IN CONJUNCTION WITH ALL RELEVANT KENNEDY REDFORD DRAWINGS.
 - UNLESS OTHERWISE STATED, UNWATCHED AREAS ARE TO REMAIN AS EXISTING.
 - CBR TESTS NEED TO BE CARRIED OUT IN-SITU AND AT THE PROPOSED FORMATION LEVEL, PRIOR TO FINAL DESIGN AND CONSTRUCTION. THIS IS REQUIRED TO DETERMINE DEPTHS OF SUB-BASE AND CAPPING MATERIAL.
 - ALL MATERIAL WITHIN 300mm OF GROUND LEVEL TO BE NON-FROST SUSCEPTIBLE.
 - ALL THICKNESSES OF GRANULAR MATERIAL ARE AFTER COMPACTION.
 - ALL ROAD PAVEMENT BUILD-UP DRAWINGS TO BE READ IN CONJUNCTION WITH M&E 2 SERIES SPECIFICATION.
 - ALL TOLERANCES FOR PAVEMENT LAYERS TO BE IN ACCORDANCE WITH SPECIFICATION FOR HIGHWAY WORKS, SERIES 700.
 - CONTRACTOR SHOULD ENSURE THAT FORMATION LEVELS ARE ADEQUATELY PROTECTED DURING ADVERSE WEATHER.
 - FORMATION TO BE TRIMMED AND ROLLED TO SPECIFICATION FOR HIGHWAY WORKS, SERIES 800 PRIOR TO LAYING PAVEMENT MATERIAL.
 - FORMATION TO BE CHECKED FOR SOFT SPOTS PRIOR TO LAYING PAVEMENT MATERIAL. ALL SOFT SPOTS TO BE REMOVED AND REPLACED WITH #2 CAPPING MATERIAL.
 - CAPPING MATERIAL TO BE IN ACCORDANCE WITH THE SPECIFICATION FOR HIGHWAY WORKS, SERIES 800.
 - CAPPING MATERIAL TO HAVE MINIMUM CBR OF 15%.
 - SUB-BASE TO BE IN ACCORDANCE WITH THE SPECIFICATION FOR HIGHWAY WORKS, SERIES 800.
 - SUB-BASE TO HAVE MINIMUM CBR OF 30%.
 - ALL KERBS TO BE LAID IN ACCORDANCE WITH BS7534.



REV	DATE	DESCRIPTION	DES	CHK	APP
P01	14.06.22	PRELIMINARY ISSUE	RJB	RJB	
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CLIENT					
GWYNEDD SKIP & PLANT HIRE					
PROJECT NAME					
GWYNEDD SKIP & PLANT HIRE					
DRAWING TITLE					
EXTERNAL WORKS LAYOUT					
ABATTOIR SITE					
SCALE					
DATE	SCALE	SHEET NO.	SHEET	REV	
14.06.22	1:250	A1	P01		
DRAWING STATUS					
S2 - ISSUED FOR INFORMATION					
DRAWING NUMBER					
220208 - KRD - XX - EX - DR - C - 0004					











PLANNING COMMITTEE	DATE: 22/04/2024
REPORT OF THE ASSISTANT HEAD OF DEPARTMENT	

Number: 4

Application Number: C24/0011/30/AM

Date Registered: 23/01/2024

Application Type: Outline

Community: Aberdaron

Ward: Pen draw Llŷn

Proposal: Outline application, with some reserved matters (appearance, landscaping) to create five self-build plots for affordable housing

Location: Bodernabwy, Aberdaron, Pwllheli, Gwynedd, LL53 8BH

Summary of the Recommendation: TO REFUSE

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1. Description:

- 1.1 This is an outline application, with some reserved matters to create five self-build plots to construct affordable housing.
- 1.2 For clarity, here are further details regarding the application as submitted:
 - Create a vehicular entrance approximately 12m wide with an access road approximately 5m wide into the site with a parking area on part of the site near the entrance.
 - Building five detached two-storey houses within individual plots with front and rear gardens which would include an internal floor area of approximately 94m²
- 1.3 This application has been submitted in the form of an outline application and, therefore, not all details of the development in terms of detailed plans to show the appearance/design and landscaping have been included as would be the norm with a full application. That is, apart from the principle of the proposal itself, details of the entrance, siting and scale that permission is sought for are only included as part of this outline application and permission is not sought for appearance and landscaping of the proposed development. Should the current application succeed, these details would be subject to a further application. Nevertheless, as required with outline applications now, the minimum and maximum height of buildings to be erected on the site have been recorded.
- 1.4 In terms of the details that have been submitted as part of the application, the following are noted:
 - "The individual houses are intended as two-storey, to avoid the attributes of 'bungalow' single-storey dwellings, and it is anticipated that the houses will measure between 6.8m and 7.2m wide (which includes the thickness of the outer walls either side) and between 7.60m and 8.00m long.
 - The height to the ridge will be approximately 7.40m above slab level (lower floor). There should be allowance for some variation in the steepness of the roof, which suggests a ridge between 7.20m and 7.80m.
 - Should applicants wish to seek permission for a single-storey building, that would give a height of approximately 4.65m, for a traditional roof as above - with a range of around 50cm more or less – but the length of the house would most likely be around 14.40m, with a range of 50cm more or less".
- 1.5 The site of the proposed development is currently open agricultural land with surrounding boundaries in a mix of natural hedgerows, earth banks and post and wire fencing.
- 1.6 The entire site is outside the current development boundary of the village of Aberdaron and is therefore in open countryside. Parts of the southern boundary of the proposed site partly touch the development boundary. The busy B4413 road is situated parallel to the front of the site with a public footpath running along the western boundary of the land. The site is within the Llŷn AONB and the Llŷn and Bardsey Island Landscape of Outstanding Historic Interest designations.
- 1.7 As part of the application, the following information was submitted:
 - Planning Statement
 - Porosity Report

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- Initial Ecological Assessment
- Details (confidential) regarding the financial and residential background of 5 individuals/family

2. Relevant Policies:

2.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 and paragraph 2.1.2 of Planning Policy Wales emphasise that planning decisions should be made in accordance with the Development Plan, unless material considerations indicate otherwise. Planning considerations include National Planning Policy and the Local Development Plan.

2.2 The Well-being of Future Generations (Wales) Act 2015 places a duty on the Council to take reasonable steps in exercising its functions to meet the 7 well-being goals within the Act. This report has been prepared in consideration of the Council's duty and the 'sustainable development principle', as set out in the 2015 Act. In reaching the recommendation, the Council has sought to ensure that the needs of the present are met without compromising the ability of future generations to meet their own needs.

2.3 Anglesey and Gwynedd Joint Local Development Plan 2011-26, adopted 31 July 2017

PS 1: The Welsh Language and Culture

ISA 1: Infrastructure provision

PS 4: Sustainable transport, development and accessibility

TRA 2: Parking standards

TRA 4: Managing transport impacts

PS 5: Sustainable development

PS 6: Alleviating and adapting to the effects of climate change

PCYFF 1: Development Boundaries

PCYFF 2: Development criteria

PCYFF 3: Design and place shaping

PCYFF 4: Design and landscaping

PS 16: Housing Provision

PS 17: Settlement strategy

TAI 5: Local market housing

TAI 8: An appropriate mix of housing

PS 18: Affordable housing

TAI 16: Exception Sites

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PS 19: Conserving and where appropriate enhancing the natural environment

AMG 1: Areas of Outstanding Natural Beauty Management Plans

AMG 5: Local biodiversity conservation

PS 20: Preserving and where appropriate enhancing heritage assets

AT 1: Conservation Areas, World Heritage Sites and Registered Historic Landscapes, Parks and Gardens.

Supplementary Planning Guidance (SPG):

SPG: Maintaining and Creating Distinctive and Sustainable Communities

SPG: Housing Mix

SPG: Affordable housing

SPG: Character of the landscape

SPG: Planning obligations

SPG: Building new dwellings in the countryside

2.4 **National Policies:**

Future Wales: The National Plan 2040

Planning Policy Wales (Edition 12 – February 2024)

Technical Advice Note (TAN) 2: Planning and Affordable Housing

TAN 5: Planning and nature conservation

TAN 6: Planning for sustainable rural communities

TAN 12: Design

TAN 18: Transportation

TAN 20: Planning and the Welsh Language

TAN 24: The historic environment

3. **Relevant Planning History:**

3.1 It appears that there is no relevant Planning history involving this land specifically.

3.2 A pre-application enquiry was submitted for the construction of five houses on a site adjacent to the main road under reference Y23/0265, not the site that is subject to this current application. It

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was noted that there was concern about a new residential development such as this as it would extend the development pattern of the village into open countryside and therefore would not be appropriate. It was also noted that local need for such housing must be proven. There was no opportunity to comment further on any revised proposal.

4. Consultations:

Community/Town Council: No objection to the outline application. If the site is developed, the County Council will be asked to consider installing paving between the development and the main road.

Transportation Unit: Not received

Natural Resources Wales: We have concerns regarding the application as submitted. However, we are satisfied that these concerns can be overcome if the document set out below is included in the condition relating to approved plans and documents on the notice of decision: Approved Document: Richardson, L., October 2023, Land Near Bodernabwy, Preliminary Ecological Assessment, Cambrian Ecology Ltd.

Protected Species

We note that the ecology report submitted in support of the above application (Richardson, L., October 2023, Land Near Bodernabwy, Preliminary Ecological Assessment, Cambrian Ecology Ltd) noted that although there were no potential bat roosts within the application boundary, there was a high potential for bats to commute and forage across the site. Section 9.2.1 of the report provides recommendations regarding new lighting and that a lighting scheme must be formulated to indicate that the recommendations will be delivered. Therefore, we advise that a lighting scheme is submitted to support any subsequent Reserved Matters applications relating to this outline application for five dwellings.

Designated Sites

Special Area of Conservation (SAC)

The development site is approximately 150m from a watercourse, hydrologically linked to Pen Llŷn and Sarnau SAC and West Wales Marine SAC. We have concerns that harm to the SAC from the proposed development cannot be ruled out and have identified pollution as a potential impact on the site's features. This is due to the

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location of the application site in relation to the nearby Cyllyfelin river. To ensure appropriate mitigation measures, we advise that the document listed below be included in the conditions of the approved plans and in the notice of decision. Provided that the measures set out in those documents are implemented as prescribed, we consider that the proposed development would not adversely affect the Special Area of Conservation.

As the competent authority under the Conservation of Habitats and Species Regulations 2017 (as amended), your authority must, before deciding to give consent for a project which is likely to have a significant effect on a Special Area of Conservation, either alone or in combination with other plans or projects, make an appropriate assessment of the implications of the project for that site in view of its conservation objectives. You must, for the purposes of the assessment, consult NRW and consider any comments we make within the reasonable period you indicate. In the absence of that assessment, NRW cannot advise that the proposals would not result in an adverse effect on the Special Area of Conservation.

Designated Landscape

The development is located within the Llŷn Area of Outstanding Natural Beauty (AONB). We note that there is no information regarding landscape assessments with the application. If your Authority considers that the proposal is likely to affect the AONB then we advise that appropriate landscape assessments are submitted. We advise you to seek the advice of your Authority's AONB Officer. If you need further advice, then please re-consult us.

Welsh Water:

A public sewerage main crosses the site and no building, structure, SuDs facilities or timber resources may be erected within the pipe protection zone.

There is existing capacity to connect a sewer system to the public system and it is suggested to include a condition to agree on the details of a drainage plan for the site.

Public Protection Unit:

Not received

Land Drainage Unit:

Standard response regarding the need to include a surface water treatment system or SUDS

Rights of Way Unit:

I confirm that footpath 17 in the community of Aberdaron runs

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across the western boundary of the application site. It is not currently possible to walk this path as it is blocked at its southern end near the property known as Noddfa'r Enfys. There does not appear to have been any consultation or discussion with the applicant regarding this prior to the submission of this planning application.

We realise that this is an outline planning application under consideration and the Service is keen to ensure that the path receives full consideration in the hope that it can be re-opened to the public. It is believed that this can be achieved by following one of two steps:

1. Continue with the existing footpath line erecting a boundary fence to separate the path from the proposed housing estate. The developer would have the responsibility to provide a fence and gate at the southern boundary with Noddfa'r Enfys as part of this development. The path would be required to be at least 2 meters wide from the bottom of the existing field boundary earth bank (clawdd) to any proposed estate boundary fence. It would be the responsibility of the owner of the 'clawdd' to maintain it thereafter without narrowing the footpath;
2. Divert the entire footpath to run parallel with the housing estate road and then adjust plots 1 and 2 to receive the new path route. I confirm that there is a process under section 257 of the Town and Country Planning Act 1990 (as amended) which allows routes to be diverted/removed where necessary to enable developments to take place. Granting this planning application would not give permission to the diversion referred to on the plans submitted with the application.

Should the planning application be approved, the applicant must formally submit a separate application to the Council to divert the path under the above provision, and the normal procedure of diverting the route (i.e. discussing with the applicant, consulting, making an Order, advertising an Order) would have to be followed. The costs of diverting the path will fall squarely on the applicant (namely the administrative costs, advertising costs, and the cost of setting up the new path on the ground). I would recommend that the applicant has a discussion with us in this Unit before submitting a request for a diversion to ensure that any prospective diversion is suitable. To this end I would be grateful if consideration was given to include the following condition should the Planning Authority wish to grant planning permission for the development:

1. Prior to commencing any development work, details for the improvement and/or diversion of public right of way footpath number 17 in the community of Aberdaron under section 257 of the Town and Country Planning Act 1990 (as amended) must be submitted for approval in writing by the Local Planning Authority. The approved details will be in place and operational prior to the occupation of the

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development.

It is likely that the path will need to be closed during the development phase and as such may need to be closed temporarily. The developer is informed that orders would be required to close the paths affected by the development under the Road Transport Management Act 1984 Section 14 as Amended by the Road Transport (Temporary Restrictions) Act 1991. The developer is requested to contact us with any request to temporarily close the paths at least 6-8 weeks prior to the start date of any development. Should the application be approved it is recommended that a note be included on any decision to this effect:

The applicant is advised that Aberdaron Public Footpath No. 17 crosses the application site and it is an offence to obstruct or divert any right of way unless it is done in accordance with the appropriate legislation. Prior to commencing any development permitted hereby the developer is likely to need to submit and receive approval for the temporary closure of a path for this footpath under the provisions of Section 14(1) of the Road Traffic Management Act 1984 (as amended) by Cyngor Gwynedd namely the Local Highways Authority. Before undertaking any development work, it is advisable for the applicant to contact the Public Rights of Way Team of the Highways Authority namely Cyngor Gwynedd.

AONB Unit:

The site in question is on the outskirts of the village of Aberdaron and in the Area of Outstanding Natural Beauty (AONB). The site is not within the village Conservation Area.

Guidance on affordable housing developments is given in Policy CP6 of the Management Plan: "Promote new affordable homes to meet proven local need, as long as schemes, designs and materials are in-keeping with the AONB's environment."

The site is currently part of an agricultural field near two recently built houses. A residential development at this location would be visible from some public spaces but it does not appear that the development would intrude on the landscape. Aberdaron public footpath number 17 runs along the boundary of the site and the path would need to be protected and given adequate space. The intention to plant trees is noted and this would benefit screening the development and contributing to biodiversity. A condition is suggested to agree an effective landscaping scheme before the start of the development as well as a lighting scheme to limit lighting to what is really necessary.

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Biodiversity Unit:

The ecological report has been completed to a good standard. The ecologist has provided a draft Green Infrastructure Statement but the expectation would be for the applicant to provide such a statement and not an external consultant. However, it is not believed that it would be reasonable to ask the applicant for additional information at this time.

NRW in their response have identified the need to carry out a Habitat Assessment given the size of the development and its location near a Special Area of Conservation. It would be normal for the applicant to provide this information to carry out the assessment (in the form of a report from a qualified ecologist).

Language Unit:

In order for the Unit to be able to offer a fair and balanced view of the application, we encourage the applicant to use the latest data now available from the 2021 Census and include a more detailed analysis. For example, by age groups for the study area. Consideration should be given to resubmitting the updated statement before submitting the application to Committee.

Gwynedd Archaeological Service:

Although there is general potential for undiscovered archaeological remains within the local area, there are no clear signs of ancient occupation at the site and therefore there is no recommendation in this case.

Housing Strategic Unit:

Information about need:

The following indicates the number of applicants who wish to live in the area:-

6 options on the Tai Teg register for intermediate properties 28 applicants from the common housing waiting list for social property.

Suitability of the Plan: Based on the above information, it appears that the Plan partly addresses the need in the area.

Schemes are expected to include 100% affordable housing as it is on exempted land. The application does not elaborate on the sizes of the dwellings, and so it is difficult to confirm if the development would address a need in the area. I see no evidence that it is the applicants who have been approved by Tai Teg who are in line to purchase the houses.

It is not possible to submit comments on the affordability of the affordable units as no open market valuation has been submitted. I

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would be more than happy to revisit the application once a formal valuation has been received.

Public Consultation:

A notice was posted on the site and nearby residents were notified. The advertisement period has expired and letters / correspondence were received objecting on the following grounds:

- The proximity of the development to existing housing creates over-looking and loss of privacy.
- Ribbon development without evidence why it should be considered as an exception site for housing.
- No reference or consideration for the location of the site within the AONB.
- The siting and context of listed buildings will be affected by the development.
- The development would extend the clear and assumed boundary of the village without any justification.
- There is no evidence of a need for housing whether local to Aberdaron or other parts of Llŷn.
- There is no evidence of financial viability.
- There is no visual impact assessment with the application.
- Although appearance is a reserved matter, the site is clearly within the open countryside and no design code has been submitted to support the decision, which is particularly relevant as these are self-build houses.
- The height of the houses will be detrimental to the special character of the area's landscape.
- The indicative siting suggests an urban siting that is inappropriate in terms of policies and design. The siting does not respect the quality and character of the historic settlement
- No evidence has been submitted regarding other suitable sites
- There is no justification for the loss of agricultural land.
- The proposal to build large, detached houses in the open countryside without any justified link to the need for local housing and the Welsh language.
- Historic landscape features would not be protected or enhanced with the application.

5. Assessment of the relevant planning considerations:

The principle of the development

- 5.1 Policy PCYFF 1 of the Anglesey and Gwynedd Joint Local Development Plan (LDP) notes that the plan itself identifies development boundaries for a range of settlements within the county and that proposals within development boundaries will be approved in accordance with the requirements of other relevant policies in the Plan. It also notes *"outside the development boundaries, proposals will be resisted unless they are in accordance with specific policies in this Plan or national planning policies or that the proposal demonstrates that its location in the countryside is essential"*.

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- 5.2 In this case, the proposal has been submitted as an application for development on an exception site and therefore consideration is mainly given to policies PS 17 and TAI 16 in such cases.
- 5.3 It is seen that Aberdaron village is defined as a rural / coastal village in the LDP with approximately 95 houses and a few facilities within the current development boundary. According to the latest information received from the Planning Policy Unit, an indicative supply level of housing for Aberdaron over the Plan period is 13 units (which includes a 'slippage allowance' of 10%, meaning that the method of calculating the figure has taken into account potential unforeseen circumstances that could influence the provision of housing e.g., land ownership issues, infrastructure constraints etc.). In the period 2011 to 2023, a total of 6 units have been completed in Aberdaron all at windfall sites. The windfall land bank i.e., sites with extant planning permission in April 2023 was 0 (zero) units (dismissing the units identified in the Joint LDP as unlikely to be completed). This means that there is capacity within Aberdaron's indicative supply for development of this scale.
- 5.4 Policy TAI 5 is relevant to locations within the development boundary but in this case, the proposal's boundary only partially touches the boundary and therefore must be regarded as an exception site outside the development boundary and therefore the relevant policy in this case would be policy TAI 16 which states:
- "Where it is demonstrated that there is a proven local need for affordable housing (as defined in the Glossary of Terms) that cannot reasonably be delivered within a reasonable timescale on a market site inside the development boundary that includes a requirement for affordable housing, as an exception, proposals for 100% affordable housing schemes on sites immediately adjacent to development boundaries that form a reasonable extension to the settlement will be granted. Proposals must be for a small-scale development, which are proportionate to the size of the settlement, unless it can be clearly demonstrated that there is a demonstrable requirement for a larger site, with priority, where it is appropriate, given to suitable previously developed land".*
- 5.5 It was noted in the formal response given to the pre-application enquiry that, as a development on a proposed exception site, evidence in the form of a Housing Statement would be required to include an assessment of the need of qualified applicants for affordable housing. Information has been submitted in the form of a completed questionnaire about the local connection of 5 people/couples. This information as well as a chapter within the Planning Statement is the justification for the need for these 5 houses, and while there is also a reference that these individuals are registered with Tai Teg, no evidence has been presented in the form of an assessment to prove these individuals' real need for affordable housing and the type of housing they need. It is essential that applicants for affordable housing are fully assessed for their needs, and 'desire' is not a sufficient reason for the need for an affordable house. It has been confirmed by Tai Teg that the 6 on its register for intermediate properties have not been fully assessed for a self-build scheme. Consequently, the need has not been proven.
- 5.6 Policy TAI 8 promotes proposals that contribute to improving housing balance and meeting needs identified in the whole community. It is therefore necessary to consider if the mix of units and tenure proposed here is suitable to promote a sustainable mixed community. It is therefore important to consider the contents of the 'Housing Mix' SPG when establishing if what is proposed here is suitable.
- 5.7 The Housing Mix SPG states that every applicant submitting a planning application for a C3 Use Class development, that includes 5 or more housing units, will be expected to submit a Housing

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Statement to support the planning application. No housing mix information has been submitted as part of the application.

- 5.8 The application does not provide information to justify the mix and type of housing provided and their affordable price nor how the proposal will meet the needs of the local community. For example, the number of bedrooms in each affordable property should match the needs of the individual. An independent valuation of the value of the proposed house on the open market (including outline applications) is also expected to be submitted. This will be based on the plans created and should be in line with the overall floor area outlined in the relevant guidelines. The valuation needs to be approved by a qualified and independent chartered surveyor i.e., who is impartial with no vested interest in the application, who knows enough about the local area and the type of house and its particular market to make the valuation eligible and should be sent with the application.
- 5.9 It is acknowledged that some information has been submitted but it is not hard evidence that forms part of any formal assessment about the requirements of the prospective buyers or the value of the houses themselves. The need for evidence of this nature is essential for carrying out a full assessment, and a fundamental ask with this type of application. Despite what is known in terms of demand for affordable housing in an area such as Aberdaron, there can be no departure from the requirements of the Authority's adopted policies and therefore to that end this proposal does not fully comply with the requirements of policies TAI 8, TAI 15 and TAI 16 of the Local Plan as well as the relevant advice in the Supplementary Planning Guidance and national guidance in Planning Policy Wales and the Technical Advice Notes.

Visual amenities

- 5.10 In this case, as it is an outline application with matters regarding appearance and landscaping withheld, not all the information is available. However, the minimum size provided suggests that 5 two-storey houses within an open area of this type in the countryside would be extremely prominent. It is recognised that existing houses nearby are a mixture of two-storey, single-storey, dormer buildings etc. However, the siting of the proposed houses within an existing open field would be away from the existing built pattern and would therefore stand out and the impact would significantly alter the visual appearance of the site. Criterion 1 of policy PCYFF 3 notes that proposals will only be granted if ...

"...it complements and enhances the character and appearance of the site, the building or the area in terms of siting, appearance, scale, height, massing and elevation treatment".

In the same manner, paragraph 7.8.3 of the SPG Affordable Housing states that:

"The exception site needs to be immediately adjacent to the development boundary and form a reasonable extension to the settlement. "Immediately adjacent" means that the proposed exception site should be in contact with the development boundary in the vicinity of the site. In relation to whether or not the proposal would be considered as a reasonable extension to the settlement, regard will be given towards whether the proposal is a rounding off of the built form or whether it would form an unacceptable intrusion into the open countryside. The impact of the proposed site on the landscape will be an important consideration in judging its suitability".

This site is not thought to be acceptable as it would create an unacceptable extension into the countryside creating a fragmented pattern of development within its local context.

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The site would be fully visible within the AONB and from places beyond the site due to the nature of the land elevating from the application site, in particular in a north and northeast direction. The AONB is just as important in terms of conservation value as the National Parks and are designated under the same act with responsibility on relevant Local Authorities to take: "every action that will help, as they see it, to conserve and enhance the natural beauty of the AONB or the part of it that is in their area."

- 5.11 This does not necessarily mean that the proposal would have a wholly detrimental effect on the AONB but due to the lack of evidence or consideration of the impact through a landscape and visual impact assessment it cannot be fully considered what the impact of a development of this magnitude would be on these designated areas. It can be seen from the representations of Natural Resources Wales;

"The development is located within the Llŷn Area of Outstanding Natural Beauty (AONB). We note that there is no information regarding landscape assessments with the application. If your Authority considers that the proposal is likely to affect the AONB then we advise that appropriate landscape assessments are submitted". Therefore, there are clear concerns that the development would not suit its location as there would be a harmful visual impact on the AONB. However, no visual assessment was requested in this case as this would not make the proposal acceptable.

- 5.12 It is stated in the planning statement submitted with the application that the current proposal has been amended due to concerns highlighted as demonstrated in the pre-application advice enquiry. It is true to say that an opinion has been given that the form of the previous proposal was unacceptable because it would have further spread the built-up pattern of the village into open countryside by creating a 'ribbon development' so that it would disrupt the local landscape. To be acceptable, any proposal would need to take the form of a logical extension to the existing built pattern and form. It is not thought that the change made between the past and present proposal is an improvement and is in fact, a proposal that would further affect local visual amenities by spreading beyond an existing built-in pattern into open lands. The resulting visual impact would be significant. Although this is an outline application, the proposal is not thought to be acceptable on the grounds of non-compliance with the relevant requirements of policies PS 5, PCYFF 3 and TAI 16.

General and residential amenities

- 5.13 It is inevitable that there would be an increased impact on the general amenities of the local area and nearby residents from what is present, as the site is open agricultural land as it stands.
- 5.14 However, it must be considered that this is an outline application where all the proposal's final details are currently unknown. For example, agreeing on the details of suitable boundary treatment and landscaping for the site could provide some protection to the residential amenities of nearby houses. It is acknowledged that the site plan submitted suggests that the house on plot 5 would be relatively close to the site's boundary with nearby dwellings and concern has been highlighted about the impact of the development as a whole on the amenities of the residents of these dwellings in terms of loss of privacy and overlooking. However, appearance is a reserved matter and so there would be an opportunity to consider the true impact of any proposal when discussing further details. It is considered possible to design a house (in terms of shape, size, location of windows, doors etc) that will protect the residential amenities of neighbours' dwellings and therefore the proposal is not considered entirely unacceptable based on all the relevant requirements of policy PCYFF 2.

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Consideration of the Welsh language

- 5.15 Criterion (2) of Policy PS 1 states that a Welsh Language Impact Assessment would be required for a proposed development on an unexpected windfall site for a large-scale housing development. The fact that this is an exception site outside the development boundary therefore means it is an unexpected windfall site. Large-scale is defined in Diagram 7 of the Supplementary Planning Guidance 'Maintaining and Creating Distinctive and Sustainable Communities' as five or more units in a Rural/Coastal Village such as Aberdaron.
- 5.16 The application has been accompanied by a Planning Statement, although it is not in the form of an impact assessment as referred to in the comment of the Policy Unit. It is also noted that the Language Unit has stated that information should be included based on the 2021 Census rather than 2011 as given in the statement as submitted. Normally, this matter would have been referred to the agent and it would be expected that a competent assessment was prepared. However, in this case, accepting such an assessment would not make the remainder of the development acceptable and it would be unfair to expect the applicant to incur additional costs when knowing that this information would not in itself ensure compliance with all relevant policy requirements. However, no evidence has been received indicating that the development would be likely to be detrimental to the language and as the proposal here is for 5 affordable houses, where the occupation would be restricted to local people only, the proposal is not considered to be strictly contrary to policy PS 1.

Transport and access matters

- 5.17 The Transport Unit's response had not been received at the time of writing. However, access together with details of the estate road and parking spaces are part of the proposal and therefore consideration will be given to the form and location of these elements in terms of the relevant requirements of policies TRA 2 and TRA 4. Parking spaces appear to be offered on part of the site and within the individual plots. In that regard, it is believed that the proposal would be acceptable in terms of current parking requirements and therefore in accordance with policy TRA 2. The proposed entrance appears standard width for serving a site of this type and is located on a section of the road, albeit a busy road, which is relatively straight with relatively clear visibility in both directions. Subject to receiving favourable representations from the Transport Unit, with appropriate conditions, it is believed that the entrance could also be acceptable and thereby in accordance with the relevant requirements of policy TRA 4.

Biodiversity matters

- 5.18 The Biodiversity Unit has confirmed that the ecological report submitted with the application has been made to a good standard. However, they note the need to submit further information to ensure that requirements relating to conducting a full assessment of the impact of the proposal on the designation of the Special Area of Conservation are met. NRW also in their comments state that Cyngor Gwynedd should;

"As the competent authority under the Conservation of Habitats and Species Regulations 2017 (as amended), your authority must, before deciding to give consent for a project which is likely to have a significant effect on a Special Area of Conservation, either alone or in combination with other plans or projects, make an appropriate assessment of the implications of the project for that site in view of its conservation objectives. You must, for the purposes of the assessment, consult NRW and consider any comments we make within the reasonable period you indicate. In the absence of that assessment, NRW cannot advise that the proposals would not

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result in an adverse effect on the Special Area of Conservation. In the absence of that assessment, NRW cannot advise that the proposals would not result in an adverse effect upon the Special Area of Conservation site”.

5.19 The lack of information here means that the proposal cannot be fully assessed as to its impact on the Special Area of Conservation which is itself a reason for refusing such a proposal. The implications, whether significant or not, are matters that cannot be fully considered as it stands and because of that, it fails to meet the fundamental requirements of policies PS 19 and AMG 5.

5.20 In accordance with recent legislative changes to Planning Policy Wales (PCC) and the need to introduce a Green Infrastructure Statement, a statement has been submitted and for the purpose of satisfying PPW in terms of this particular aspect, it is believed that this has been done in this case.

Archaeological Matters

5.21 As can be seen from the comments of the Archaeological Service, although there is a general potential for undiscovered archaeological remains within the local area, they had no recommendation in this case such as carrying out exploration of the site. It is therefore believed that the proposal is acceptable based on this particular element and is in accordance with the relevant requirements of policy PS 20.

Educational Contribution

5.22 The proposal is to construct 5 houses but the number of bedrooms does not appear to have been confirmed. Should the proposal be for 5, 3-bedroom houses, from the information in the SPG 'Planning Obligations' it is stated that an additional 2 primary age pupils will result from this proposal: $5 \times 0.4 = 2$ pupils

5.23 As there is existing capacity within the local primary school, it would not be relevant to consider an educational contribution in this case for the additional pupils resulting from the proposed development.

Any other considerations

5.24 Following the response to the pre-application enquiry, no further discussion took place as to the proposal. No rationale or explanation has been presented as to why this proposal was chosen for the site following the concerns raised with the original siting.

5.25 A proposal of this size would have benefited from a discussion to ascertain what would be needed to facilitate the decision-making process. Although this would not necessarily have made the application acceptable, it would have at least provided an opportunity to voice opinions and provide advice before the applicant decided to proceed to submit an application. It is noted that the report refers to a lack of information in relation to several material planning considerations. Usually, it would be possible to ask for additional information to undertake a full assessment. However, this in itself would not make the application acceptable due to fundamental policy concerns about the proposal and, therefore, it may be argued that it would be unreasonable for the applicant to incur additional costs of providing this information as this would not make the application acceptable.

Response to the public consultation

5.26 It is acknowledged that objections have been received to this proposal and it is considered that all relevant planning matters have been given appropriate consideration as part of the above

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assessment. A decision is made based on a full consideration of all the relevant planning considerations and all the comments received during the public consultation and that no one was let down when considering this application.

6. Conclusions:

- 6.1 The current housing situation in the village of Aberdaron village is well known in terms of how difficult it is to find a house at an affordable price. The principle of new residential development that would contribute towards meeting the need locally is therefore fully supported. However, this does not mean that any proposal submitted is permissible and proposals must comply completely with the relevant requirements of policies that protect a highly sensitive area such as here from unacceptable new development.
- 6.2 Having considered the above and all the relevant planning matters including local and national policies and guidance, as well as all the observations received, it is believed that this proposal is unacceptable in the form submitted, as it fails to satisfy the requirements of the relevant policies and guidance as noted above.

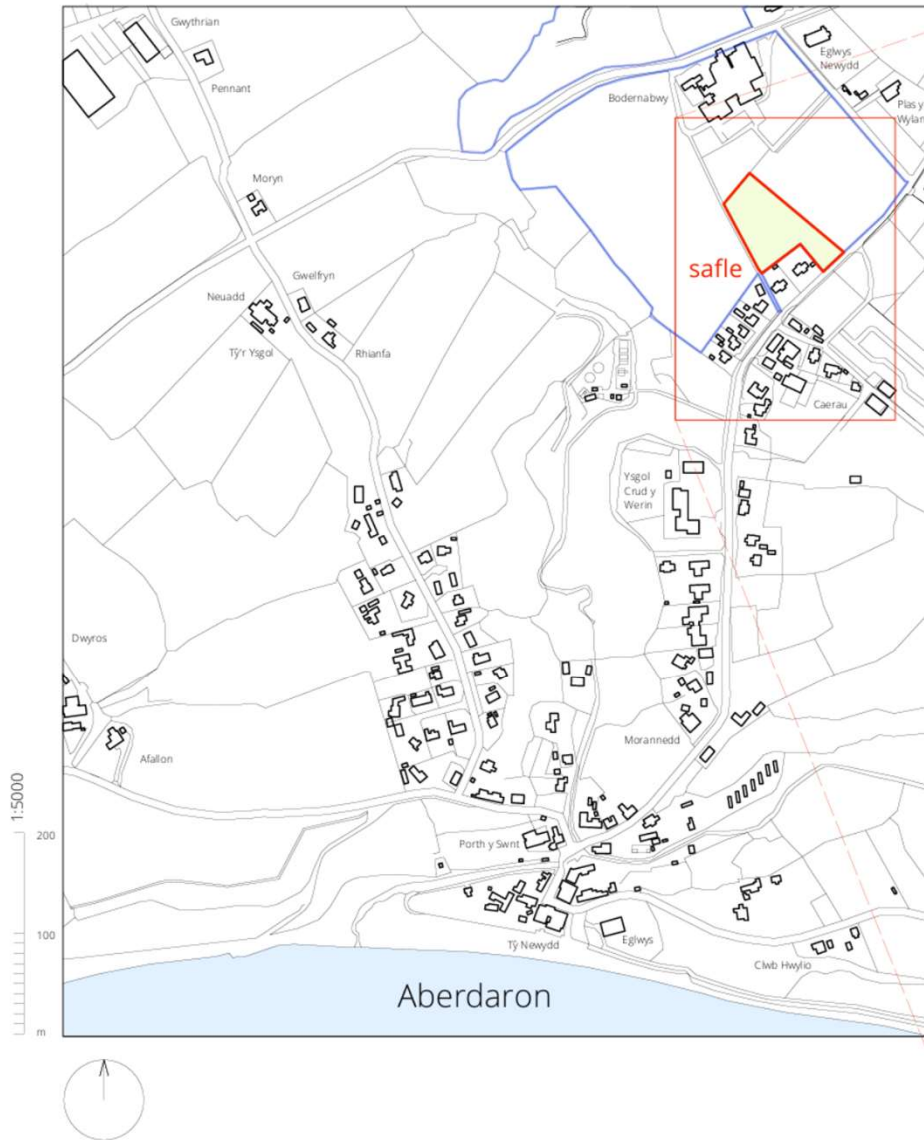
7. Recommendation:

7.1 To refuse – reasons

1. This development would have a detrimental effect on the local landscape causing urban encroachment onto a greenfield site in open countryside. It is not considered that the proposal would complement or enhance the character and appearance of the site nor integrate with its surroundings. The proposal is therefore contrary to the requirements of Policies PCYFF 3, PS 5 and TAI 16 of the Anglesey and Gwynedd Joint Local Development Plan and part 2.6 of Technical Advice Note 12: Design which states that design which is inappropriate in its context, or which fails to grasp opportunities to enhance the character, quality and function of an area, should not be accepted, as these have detrimental effects on existing communities.
2. Insufficient information has been included as part of the planning application to enable the Local Planning Authority to fully assess all necessary material planning considerations. To enable a complete assessment of the proposal under the relevant policies of the Anglesey and Gwynedd Joint Local Development Plan 2011-2026, further information would be required on the following issues:
 - i. Evidence in the form of a formal assessment proving the need for an affordable dwelling (Policy TAI 16)
 - ii. Evidence regarding the suitability of the housing mix and a valuation of the units (Policies TAI 8 and TAI 15).

The application as presented is therefore contrary to the relevant requirements of policies TAI 16, TAI 8 and TAI 15.

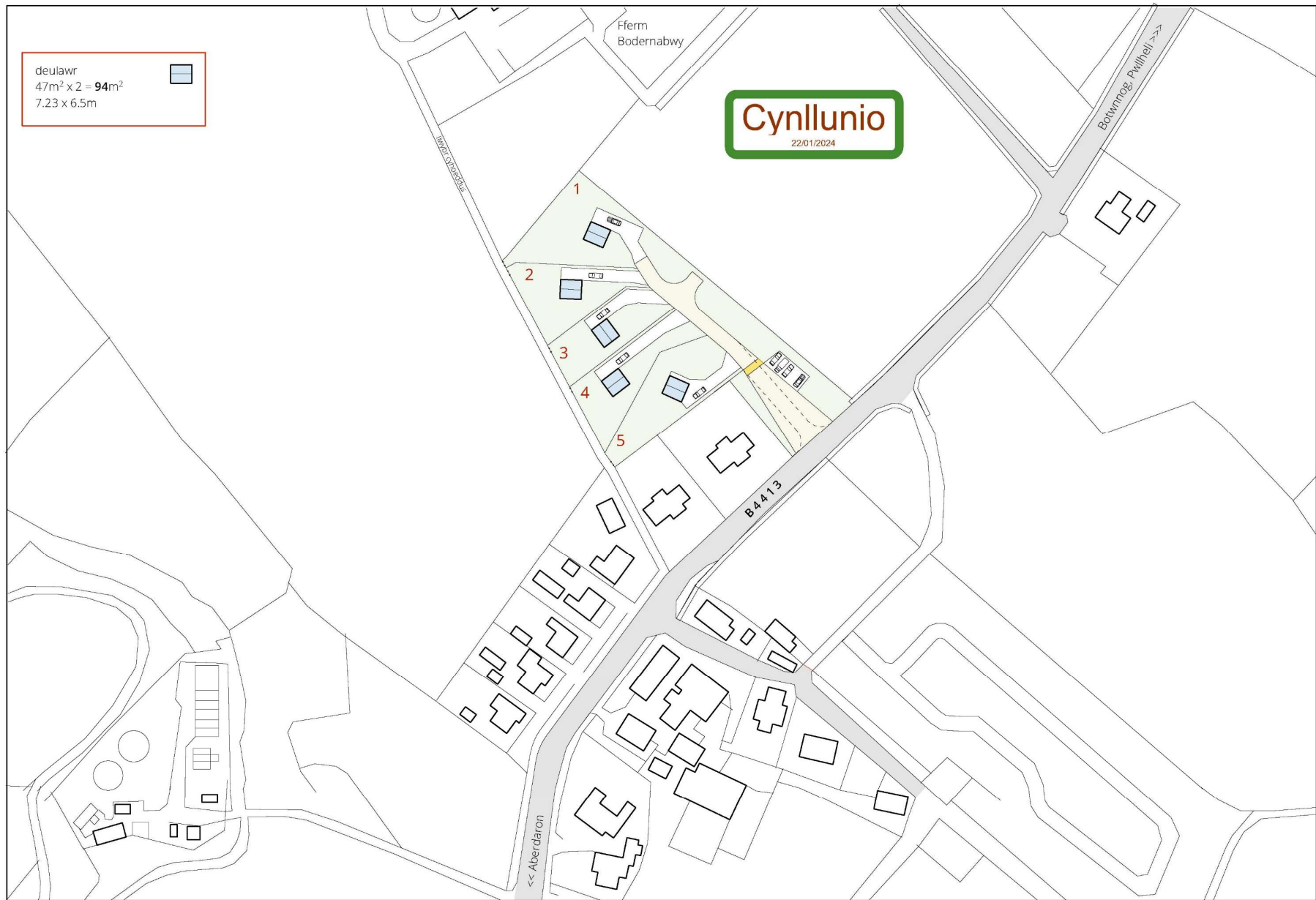
3. Insufficient information has been submitted as part of the planning application to enable the Local Planning Authority as the competent authority under the Conservation of Habitats and Species Regulations 2017 (as amended), to make an appropriate assessment of the implications of the project on the Pen Llŷn and Sarnau Special Conservation Area. The proposal therefore does not show that the proposal would protect or improve the natural environment and therefore the application is contrary to the requirements of Policy PS 19 and AMG 5 of the Anglesey and Gwynedd Joint Local Development Plan 2011-2026.



Tir ger Bodernabwy Aberdaron LL53 8BH p140_01_05

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OS SH175270

graddfa / scale @ A3 : 1:5000 / 1:1250
printwyd / printed : 12-09-2023
cychwynwyd / started : 13-04-2023



diwygiadau
a 04-11-2023
unedau yn rhai deulawr

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Tir ger **Bodernabwy** Aberdaron LL53 8BH p140_01_04a

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